

PROPOSED CHILDCARE CENTRE

PROJECT REF. NO. #186

ENTITY 8886

LOT 47, SEC. A, DP110163, 86 THE AVENUE, BANKSTOWN NSW 2200

ACOUSTIC RECOMMENDATIONS:

ACOUSTIC RECOMMENDATIONS TO BE READ IN CONJUNCTION WITH PROPOSED CHILDCARE CENTRE - DA ACOUSTIC ASSESSMENT PREPARED BY **RENZO TONIN & ASSOCIATES REPORT REF NO. TN562-01F01 REV 2 DATED 7th JUNE, 2024**

7. RECOMMENDATIONS

The proposed boundary fence along the northern, southern and western boundaries, shall be at least 1.8m above ground level (at any point).
– The fence shall be constructed from any impervious material such as lapped and capped timber, corrugated sheet steel, a transparent sold material (e.g., glass or ‘Perspex’), masonry or a combination of these.
– They must not contain any acoustically untreated holes or gaps, including beneath the fences at the base.
– In most cases the minimum surface density of the boundary fence should be 15kg/m².

Additionally acoustic screens are also required around the ground floor external play areas.
– The section of screen illustrated in pink shall comprise of a 1m high vertical barrier and 1.1m barrier cantilevered inwards towards the play area, at an angle of approx. 63°.
– The section of screen illustrated in orange shall comprise of a 1m high vertical barrier and 1.3m barrier cantilevered inwards towards the play area, at an angle of approx. 51°.
– The cantilevered screens can be constructed from a transparent sold material (e.g., glass or ‘Perspex’).
– They must not contain any acoustically untreated holes or gaps, including beneath the fences at the base and shall have a minimum surface density of at least 15kg/m².

Acoustic screens are also required along the frontages of the first-floor external play area. Perspex screens shall extend at least 1.44m above the masonry wall i.e. to RL 52.00 (illusatrated in yellow).

All façade glazing and light-weight external wall and roof systems shall shall comply with the minimum specifications detailed in 5.2.
– The proposed sliding doors for the playrooms are remain open during indoor play.
– All doors and windows shall be closed in the event of a music performance.

NAPPY CHANGE NCC REQUIREMENTS - CLAUSE F4D4 (9)(C)

- G) A CLASS 9B EARLY CHILDHOOD CENTRE MUST BE PROVIDED WITH—
- (II) ONE BATH, SHOWER OR SHOWER-BATH; AND
- (III) IF THE CENTRE ACCOMMODATES CHILDREN YOUNGER THAN 3 YEARS OLD—
- (A) A LAUNDRY FACILITY COMPRISING A WASHTUB AND SPACE IN THE SAME ROOM FOR A WASHING MACHINE; AND
- (B) A BENCH TYPE BABY BATH, WHICH IS WITHIN 1 M OF THE NAPPY CHANGE BENCH; AND
- (C) A NAPPY CHANGING BENCH WHICH—
- (AA) IS WITHIN 1 M OF SEPARATE ADULT HAND WASHING FACILITIES AND BENCH TYPE BABY BATH; AND
- (BB) MUST BE NOT LESS THAN 0.9 M² IN AREA AND AT A HEIGHT OF NOT LESS THAN 850 MM, BUT NOT MORE THAN 900 MM ABOVE THE FINISHED FLOOR LEVEL; AND
- (CC) MUST HAVE A SPACE NOT LESS THAN 800 MM HIGH, 500 MM WIDE AND 800 MM DEEP FOR THE STORAGE OF STEPS; AND
- (DD) IS POSITIONED TO PERMIT A STAFF MEMBER CHANGING A NAPPY TO HAVE VISIBILITY OF THE PLAY AREA AT ALL TIMES.

NATIONAL CONSTRUCTION CODE 2022 F4D4 FACILITIES IN CLASS 3 TO 9 BUILDINGS

NAPPY CHANGE TABLE (NCT) TO BE DONE IN ACCORDANCE WITH NCC F4D4 (9) (C) (III) (A-D)

CHILD CARE FACILITES - NCC CLAUSE F4D4

THE FOLLOWING FACILITIES ARE REQUIRED TO CHILDCARE CENTRES:

A KITCHEN WITH SINK, SEPARATE HAND WASHING FACILITIES, SPACE FOR A FRIDGE AND COOKING FACILITIES

AS THE CENTRE CATERS FOR CHILDREN <5, THE KITCHEN MUST HAVE A GATE OR DOOR THAT IS CHILD PROOF (1.5m LATCHING)

AS THE CENTRE CATERS FOR CHILDREN <2, THE KITCHEN MUST FACILITATE SUPERVISION OF THOSE CHILDREN

ONE BATH, SHOWER OR SHOWER/BATH

AS THE CENTRE ACCOMMODATE CHILDREN <3 A LAUNDRY FACILITY COMPRISING OF A WASHTUB AND SPACE FOR A WASHING MACHINE IN THE SAME ROOM IS REQUIRED

AS THE CENTRE ACCOMMODATES CHILDREN <3 A BENCH-TYPE BABY BATH WHICH IS WITHIN 1M OF A NAPPY CHANGE TABLE IS REQUIRED

AS THE CENTRE ACCOMMODATES CHILDREN <3, A NAPPY CHANGING BENCH THAT IS WITHIN 1M OF AN ADULT HAND WASH BASIN, BE AT LEAST 0.9m², 850-900mm HIGH AND MUST HAVE A SPACE NO LESS THAN 800mm(H) X 500mm(W) X 800mm(D) FOR THE STORAGE OF STEPS AND BE POSITIONED TO ALLOW SUPERVISION OF THE PLAY AREA AT ALL TIMES

SLIP RESISTANCE (IN ACCORDANCE WITH NCC TABLE D3D15 & SPECIFICATION 27)

1. STAIRS TREADS OR LANDING SURFACE DRY P3 OR R10 OR WET P4 OR R11
2. STAIR COLOUR CONTRAST NOSING DRY P3 OR WET P4
3. RAMPS STEEPER THAN 1:14 GRADIENT DRY P4 PR R11 OR WET P5 OR R12
4. RAMPS STEEPER THAN 1:20 BUT NOT STEEPER THAN 1:14 GRADIENT DRY P3 OR R10 OR WET P4 OR R11
5. WET AREAS *(AS TOILETS, SHOWER OR SIMILAR)* P3 OR R10
6. DRY AREA R9

KITCHEN - GENERAL NOTES:

FITOUT OF KITCHEN TO BE IN ACCORDANCE WITH AS 4674-2004 DESIGN, CONSTRUCTION AND FITOUT OF FOOD PREMISES.

GENERAL REQUIREMENTS

1. PROOF AGAINST PESTS.
2. COOKING APPLIANCES EXCEEDING A TOTAL MAX. POWER INPUT OF 8KW FOR ELECTRICAL, OR A TOTAL GAS INPUT OF 29Mj/h FOR A GAS APPLIANCE ARE REQUIRED TO HAVE A KITCHEN EXHAUST SYSTEM INSTALLED IN ACCORDANCE WITH CLAUSE F6D12 OF NCC AND AS1668, PARTS 1 & 2.
3. HOT WATER SERVICES TO BE POSITIONED 75 MM CLEAR
4. HEATED WATER IN ACCORDANCE WITH AS 3500.4.2
5. **WALL OF ALL FOOD PREMISES SHALL BE OF SOLID CONSTRUCTION.**
6. CERAMIC FLOOR TILES SHALL BE CLEANABLE, NON-ABSORBENT, EPOXY GROUTED AND LAID IN ACCORDANCE WITH AS 3958.1
7. **THE INTERSECTION OF FLOORS WITH WALLS SHALL MEET THE COVING REQUIREMENT.**
8. COVING TILE MINIMUM RADIUS TO BE 25mm.
9. WALLS AND CEILINGS SHALL BE OF SOLID CONSTRUCTION.
10. **CEILINGS SHALL BE NON-PERFORATED AND FINISHED FREE OF OPEN JOINS, CRACKS AND CREVICES.**
11. WALL AND CEILING SHALL BE TIGHT JOINTED, SEALED AND DUST PROOF.
12. SEALANTS USED SHALL BE WASHABLE AND OF IMPERVIOUS MATERIAL.
13. WALL AND CEILINGS ARE TO BE OF LIGHT COLOUR.
14. ALL SHELVING TO BE 25mm OFF WALL.

SERVICES:

SERVICE PIPE CONDUITS AND WIRING SHALL BE CONCEALED IN FLOOR PLINTHS, WALLS AND CEILING.

SHALL BE FIXED ON BRACKERS WITH 25mm CLERANCE BETWEEN PIPE AND WALL SURFACE.

ALL PENETRATIONS SHALL BE SEALED.

FIXTURES SHALL BE MOVABLE FOR CLEANING.

REFER TO MECHANICAL CONSULTANTS DRAWINGS FOR ALL VENTILATION DETAILS

REFER TO HYDRAULIC CONSULTANTS DRAWINGS FOR AL HYDRAULIC DETAILS AND DISPOSAL OF WASTE WATER.

REFER TO ELECTRICAL CONSULTANTS DRAWINGS FOR ALL ELECTRICAL DETAILS

HAND WASHING:
HAND BASINS ARE TO BE FREE STANDING AND PROVIDED WITH A SINGLE OUTLET FOR WARM (40°C) CLEAN POTABLE WATER.

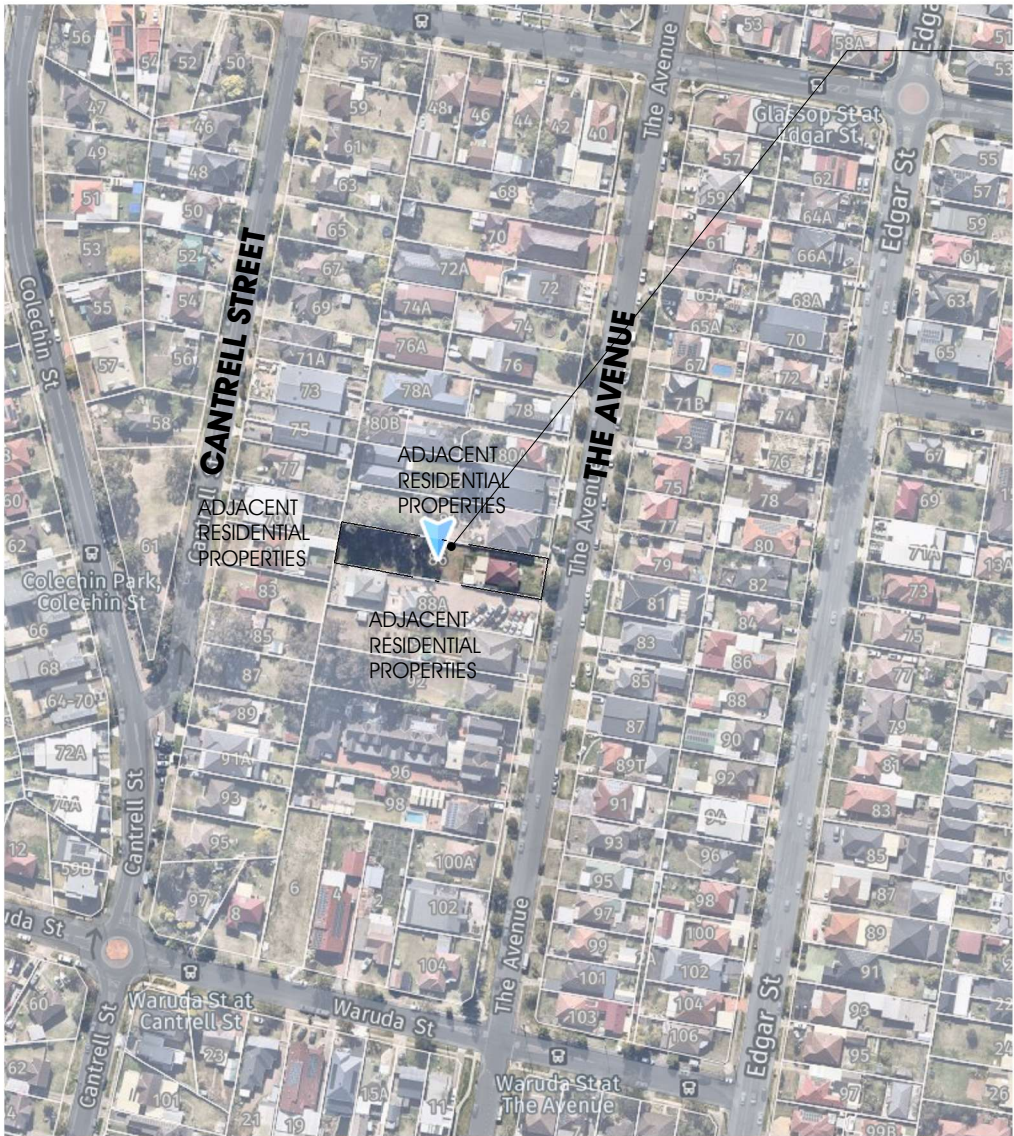
PROVIDE A TOWEL AND SOAP DISPENSER.

A RECEPTACLE FOR USED TOWELS SHALL BE PROVIDED.

ACOUSTIC RECOMMENDATIONS

- 1.44m HIGH ACOUSTIC BARRIER
- 1.52m HIGH ACOUSTIC BARRIER - 1.0 VERTICAL BARRIER WITH 1.1m CANTILEVERED INWARDS AT 63° ANGLE
- 1.84m HIGH ACOUSTIC BARRIER - 1.0m VERTICAL BARRIER WITH 1.3m CANTILIVERED INWARDS AT 51° ANGLE

FOR DEVELOPMENT APPLICATION



SUBJECT SITE
NO.86 THE AVENUE, BANKSTOWN NSW
LOT 47, SEC A, DP 110163
SITE AREA: 1195 m²



DEVELOPMENT DATA

SITE ADDRESS	LOT 47, SEC. A, DP110163, 86 THE AVENUE, BANKSTOWN NSW 2200
SITE AREA	1195.1 m2 (BY TITLE)
ZONE	R2 LOW DENSITY RESIDENTIAL
TOTAL BUILDING AREA	379.0m2
GFA (MAX.478m2)	447.1m2
FSR	0.37:1

TOTAL NO. OF PLACEMENTS **68 CHILDREN**

CARPARKING

REQUIRED SPACES 68/4	17
PROVIDED SPACES	17

PARKING SCHEDULE

STAFF	8
VISITOR	8
VISITOR ACCESSIBLE	1
TOTAL CARPARKING SPACES	17

LOCATION PLAN

SCALE 1:2000 (A3)

Sheet List

Sheet Number	Sheet Name	Revision	Revision Date
DA 00	Notes	E	03.07.24
DA 01	Location Plan	E	03.07.24
DA 02	Site Analysis	E	03.07.24
DA 03	Site Plan	E	03.07.24
DA 04	Demolition, Erosion & Sediment Control Plan	E	03.07.24
DA 05	Key Plans	E	03.07.24
DA 06	Basement Part Plan A	E	03.07.24
DA 07	Basement Part Plan B	E	03.07.24
DA 08	Ground Floor Part Plan A	E	03.07.24
DA 09	Ground Floor Part Plan B	E	03.07.24
DA 10	First Floor Plan	E	03.07.24
DA 11	Roof Part Plan A	E	03.07.24
DA 12	Roof Part Plan B	E	03.07.24

Sheet List

Sheet Number	Sheet Name	Revision	Revision Date
DA 13	North Elevation Part A	E	03.07.24
DA 14	North Elevation Part B	E	03.07.24
DA 15	South Elevation Part A	E	03.07.24
DA 16	South Elevation Part B	E	03.07.24
DA 17	East & Streetscape Elevation	E	03.07.24
DA 18	West Elevation	E	03.07.24
DA 19	Section A	E	03.07.24
DA 20	Section A	E	03.07.24
DA 21	Section B	E	03.07.24
DA 22	Section B	E	03.07.24
DA 23	GFA Calculation Plan	E	03.07.24
DA 24	Playspace Area plan	E	03.07.24

Sheet List

Sheet Number	Sheet Name	Revision	Revision Date
DA 25	Basement Evacuation Plan	E	03.07.24
DA 26	Ground Floor Evacuation Plan	E	03.07.24
DA 27	First Floor Evacuation Plan	E	03.07.24
DA 28	Shadow Diagrams	E	03.07.24
DA 29	Shadow Diagrams	E	03.07.24
DA 30	Shadow Diagrams	E	03.07.24
DA 31	Shadow Diagrams	E	03.07.24
DA 32	Shadow Diagrams	E	03.07.24
DA 33	Shadow Diagrams	E	03.07.24
DA 34	Acoustic Fence Details	E	03.07.24
DA 35	Notification Plan	E	03.07.24

FOR DEVELOPMENT APPLICATION



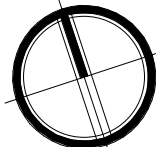
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DA 01

ENTITY 8886

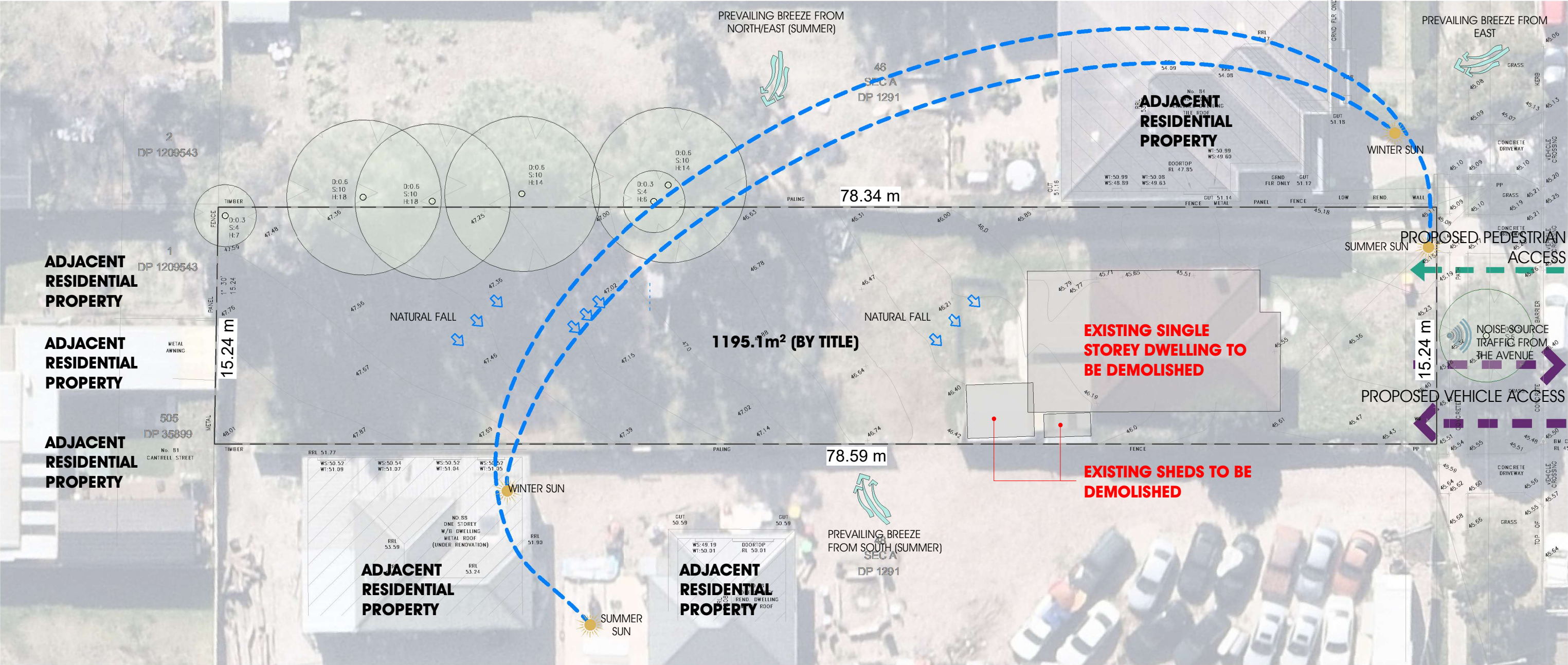
PROPOSED CHILDCARE CENTRE

0 1 2m

LOT 47, SEC. A, DP110163, 86 THE AVENUE, BANKSTOWN NSW 2200

AMENDMENTS:

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SITE ANALYSIS PLAN

SCALE 1 : 250 (A3)

DEVELOPMENT DATA

SITE ADDRESS	LOT 47, SEC. A, DP110163, 86 THE AVENUE, BANKSTOWN NSW 2200
SITE AREA	1195.1 m2 (BY TITLE)
ZONE	R2 LOW DENSITY RESIDENTIAL
TOTAL BUILDING AREA	379.0m2
GFA (MAX.478m2)	447.1m2
FSR	0.37:1
TOTAL NO. OF PLACEMENTS	68 CHILDREN
CARPARKING	
REQUIRED SPACES 68/4	17
PROVIDED SPACES	17

GROSS FLOOR AREA

BASEMENT	
SHED	4.85 m²
LNDRY	10.40 m²
GROUND FLOOR	
GROUND FLOOR	280.58 m²
SHED	2.50 m²
WSA	8.45 m²
FIRST FLOOR	
FIRST FLOOR A	72.98 m²
FIRST FLOOR B	67.32 m²
TOTAL GFA	447.10 m²

INTERNAL PLAYSPACE AREA SCHEDULE

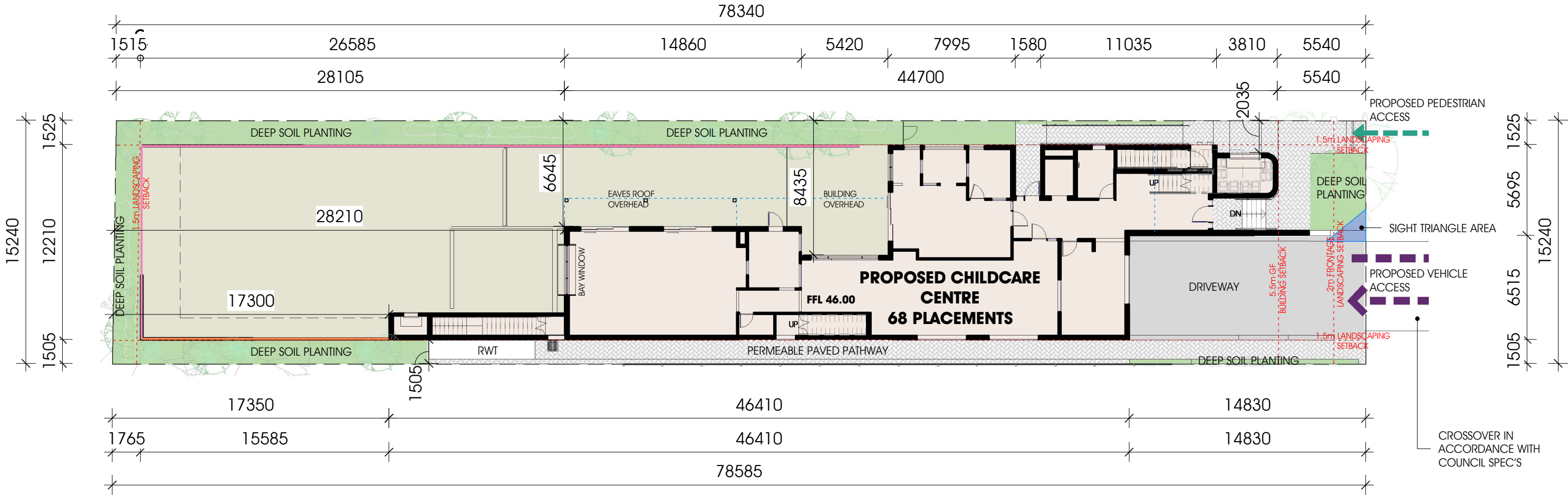
Name	Comments	Area Required	Area Provided	Staff Ratio	No. of Staff
PLAYROOM 01	8 - 0-2 YO	26	26.79 m²	1:4	2
PLAYROOM 02	20 - 3-6 YO	65	70.23 m²	1:10	2
PLAYROOM 03	20 - 3-6 YO	65	66.87 m²	1:10	2
PLAYROOM 04	20 - 2-3YO	65	53.33 m²	1:5	4
UNENCUMBERED INDOOR PLAYROOM 04			12.69 m²		
		221	229.92 m²		10

ACOUSTIC RECOMMENDATIONS

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<div></div>	1.52m HIGH ACOUSTIC BARRIER - 1.0 VERTICAL BARRIER WITH 1.1m CANTILEVERED INWARDS AT 63° ANGLE
<div></div>	1.84m HIGH ACOUSTIC BARRIER - 1.0m VERTICAL BARRIER WITH 1.3m CANTILEVERED INWARDS AT 51° ANGLE

EXTERNAL PLAYSPACE CALCS.

EXT. PLAY AREA 01	41m2
EXT. PLAY AREA 02	376m2
EXT. PLAY AREA 03	75m2
TOTAL	492.0m2



SITE PLAN

SCALE 1 : 250 (A3)

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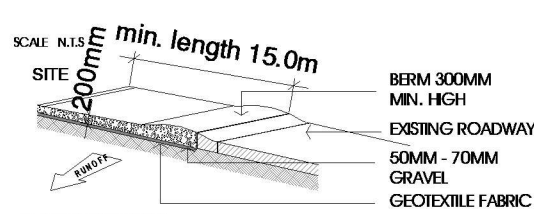
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DA 03

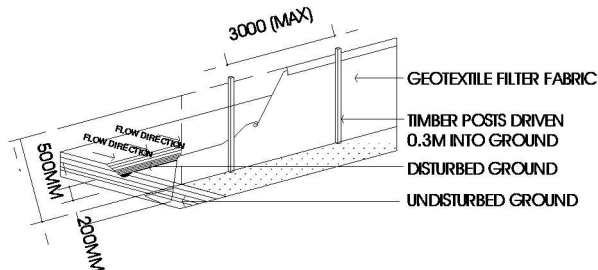
FOR DEVELOPMENT APPLICATION

ENTITY 8886
PROPOSED CHILDCARE CENTRE

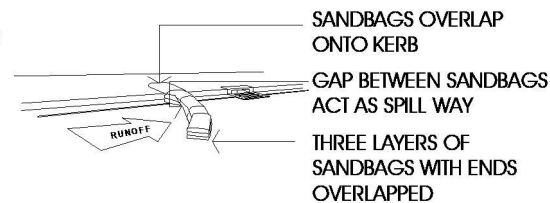
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TEMPORARY CONSTRUCTION EXIT DETAIL
SCALE: N.T.S.



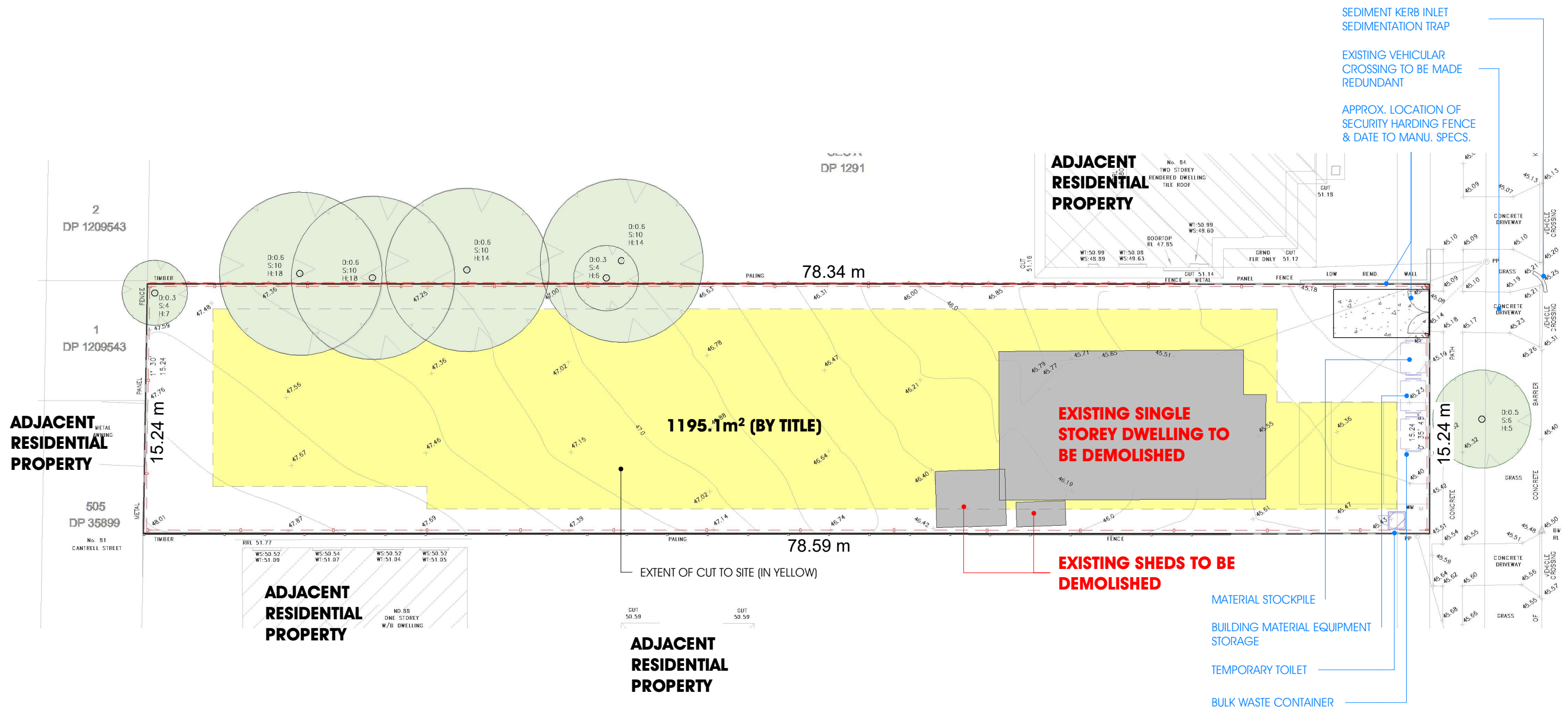
SEDIMENT FENCE DETAIL
SCALE: N.T.S.



SANDBAG KERB INLET TRAP
SCALE: N.T.S.

SEDIMENT CONTROL NOTES

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.
2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300MM WIDE X 300MM DEEP TRENCH.
4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60 % FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM
6. DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE.
7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0M CENTRES. FABRIC SHALL BE BURIED 150MM ALONG ITS LOWER EDGE.



DEMOLITION, EROSION & SEDIMENT CONTROL PLAN

SCALE 1 : 250 (A3)

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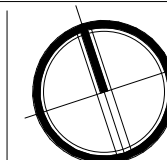
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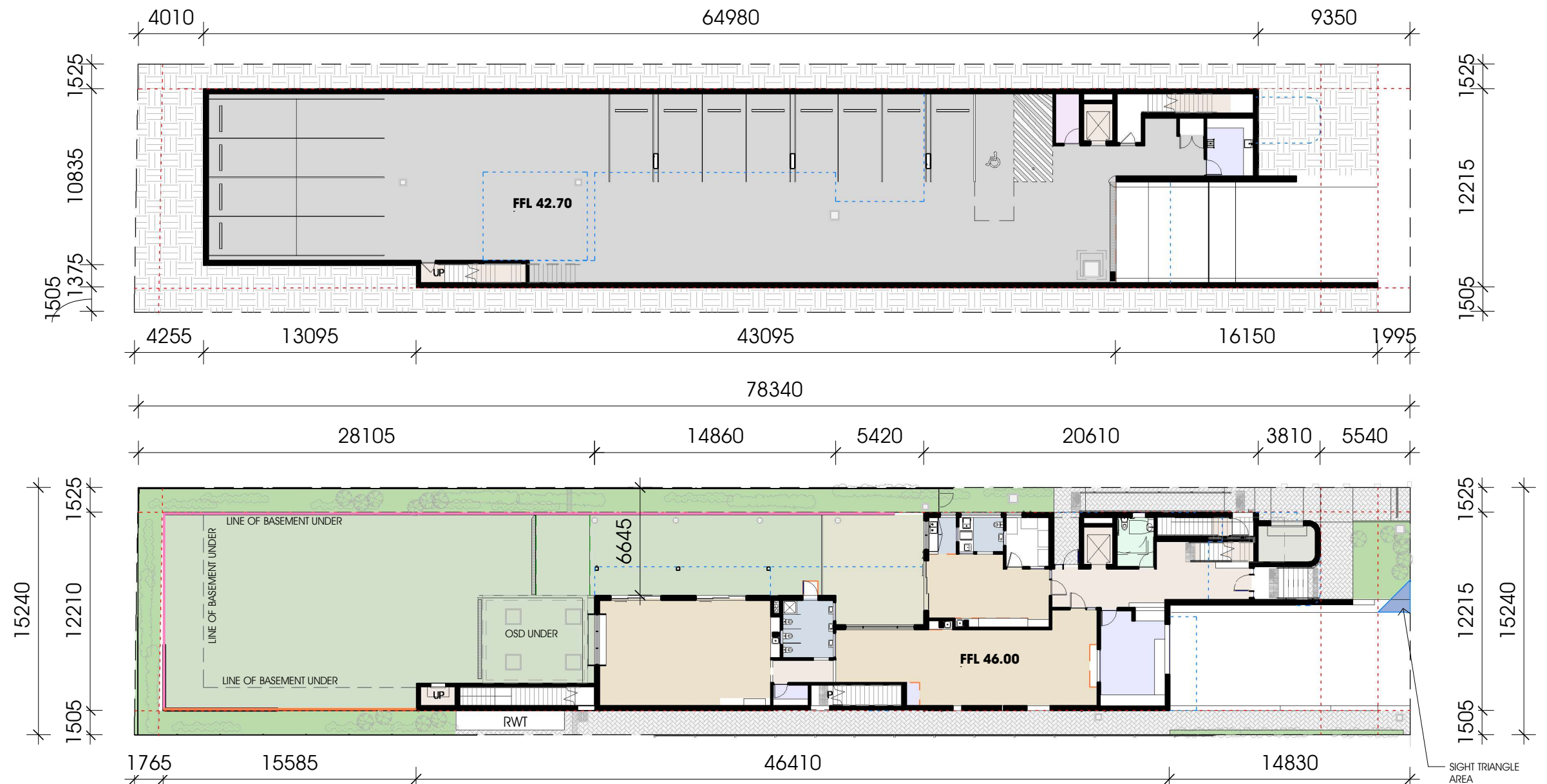
DA 04

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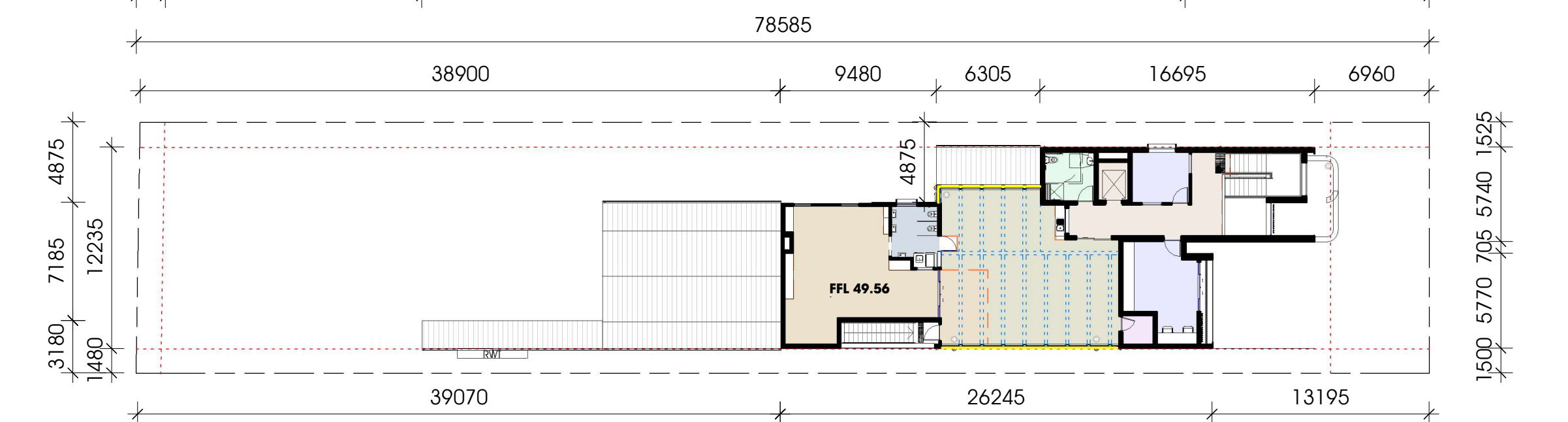
PROPOSED CHILDCARE CENTRE

0 1 2m
LOT 47, SEC. A, DP110163, 86 THE AVENUE, BANKSTOWN NSW 2200

SCALE 1 : 300 (A3)



SCALE 1 : 300 (A3)



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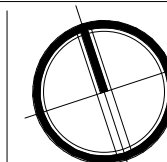
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DA 05

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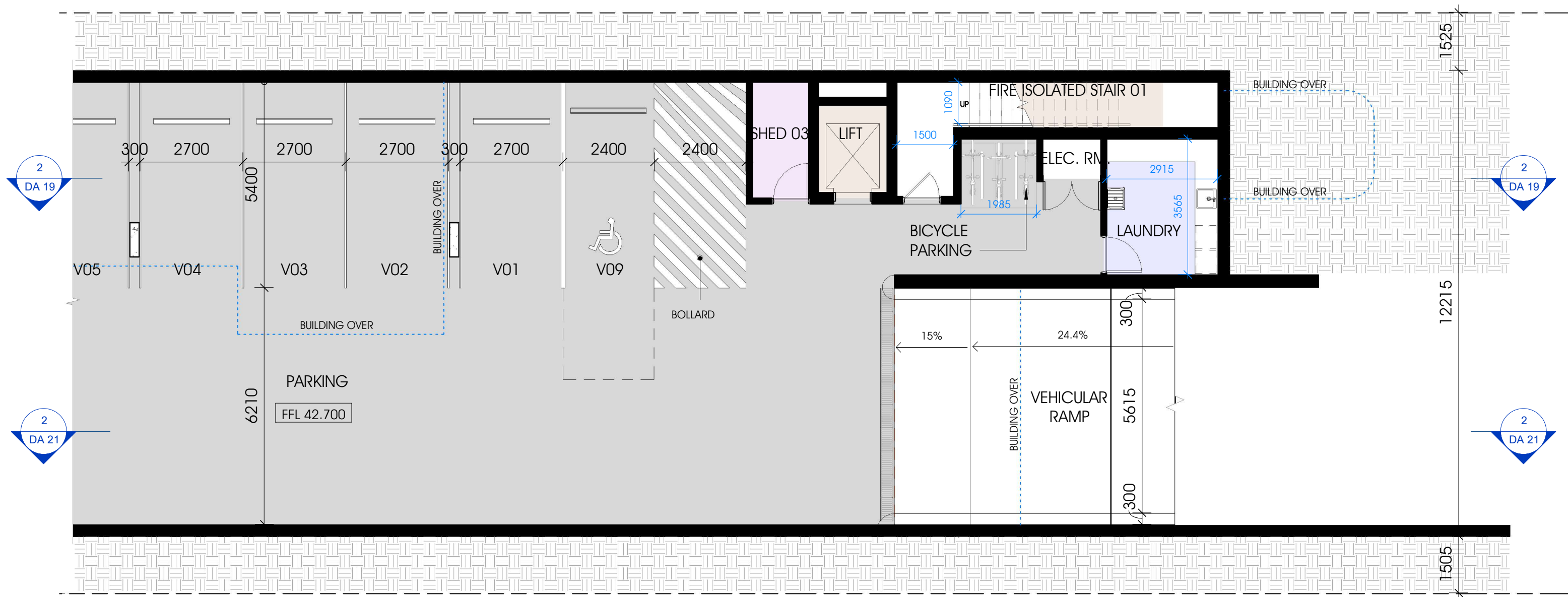
PROPOSED CHILDCARE CENTRE

1 2m

LOT 47, SEC. A, DP110163, 86 THE AVENUE, BANKSTOWN NSW
2200

PARKING SCHEDULE

STAFF	8
VISITOR	8
VISITOR ACCESSIBLE	1
TOTAL CARPARKING SPACES	17



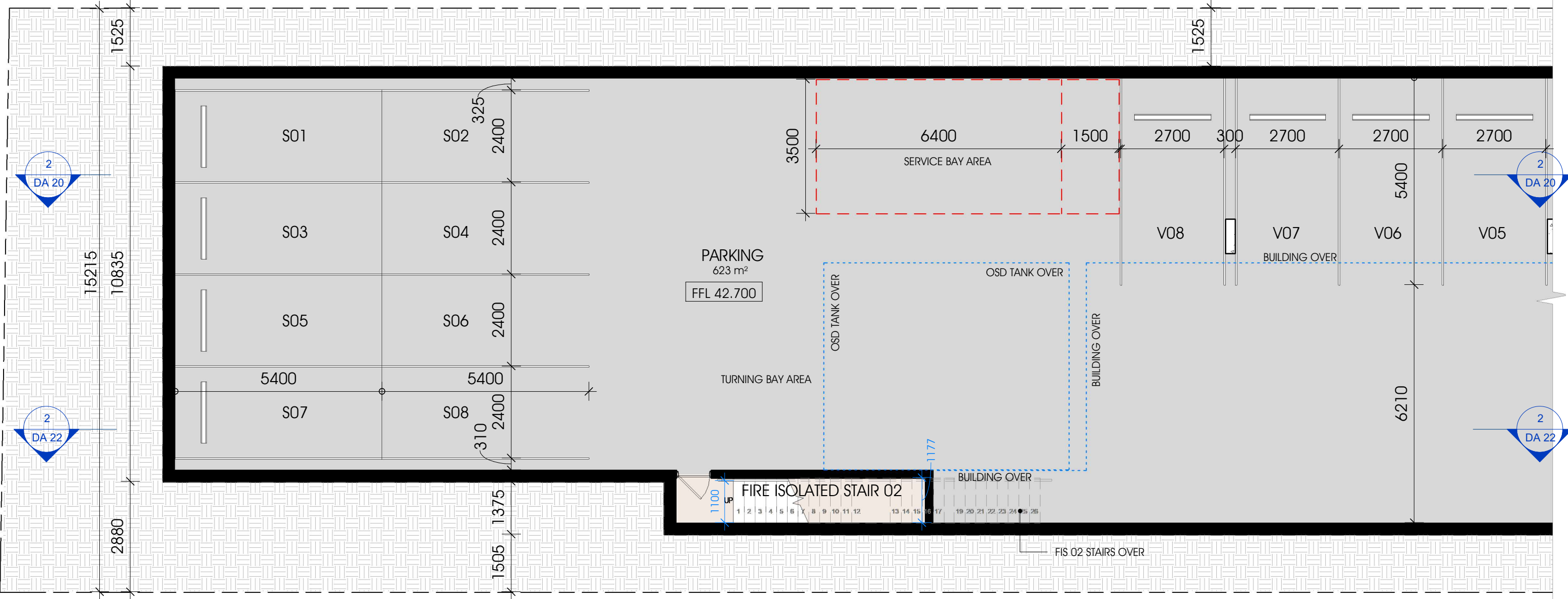
BASEMENT PLAN

SCALE 1 : 100 (A3)

0 5 10 m FOR DEVELOPMENT APPLICATION

PARKING SCHEDULE


STAFF	8
VISITOR	8
VISITOR ACCESSIBLE	1
TOTAL CARPARKING SPACES	17




BASEMENT PLAN

SCALE 1 : 100 (A3)

0 5 10 m FOR DEVELOPMENT APPLICATION



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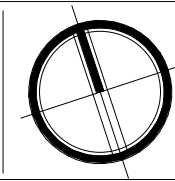


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03.07.24

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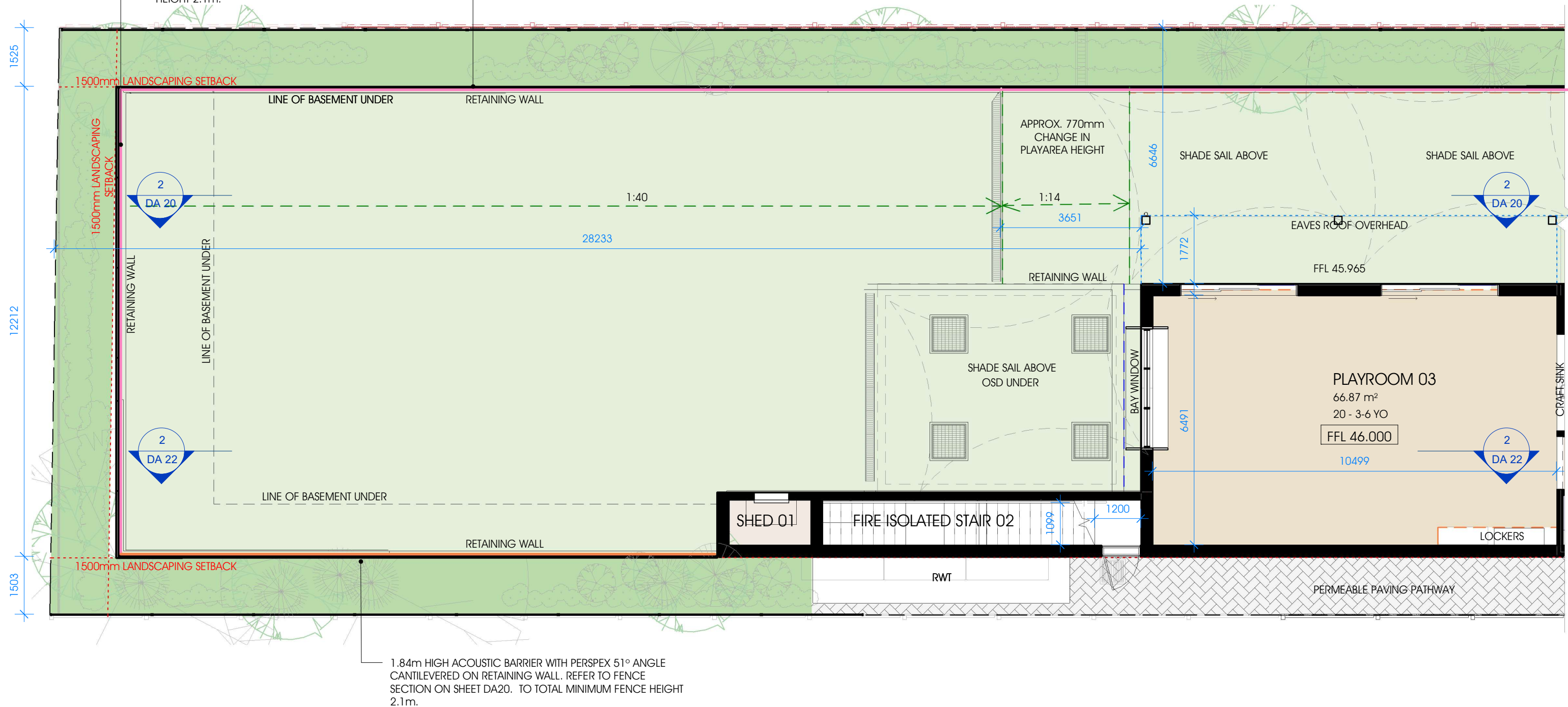


DA 07

ENTITY 8886
PROPOSED CHILDCARE CENTRE

0 1 2m
LOT 47, SEC. A, DP110163, 86 THE AVENUE, BANKSTOWN NSW 2200

1.52m HIGH ACOUSTIC BARRIER WITH PERSPEX 63° ANGLE
CANTILEVERED ON RETAINING WALL. REFER TO FENCE
SECTION ON SHEET DA20. TO TOTAL MINIMUM FENCE
HEIGHT 2.1m.



GROUND FLOOR PLAN

SCALE 1 : 100 (A3)

0 5 10 m

AMENDMENTS:

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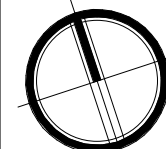
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A ISSUED TO CLIENT FOR COMMENTS
B ISSUED TO CLIENT FOR APPROVAL
D REVISED FF - ISSUED TO CLIENT FOR APPROVAL
E ISSUED TO COUNCIL FOR DEVELOPMENT APPLICATION

19.09.23
30.11.23
04.04.24
03.07.24

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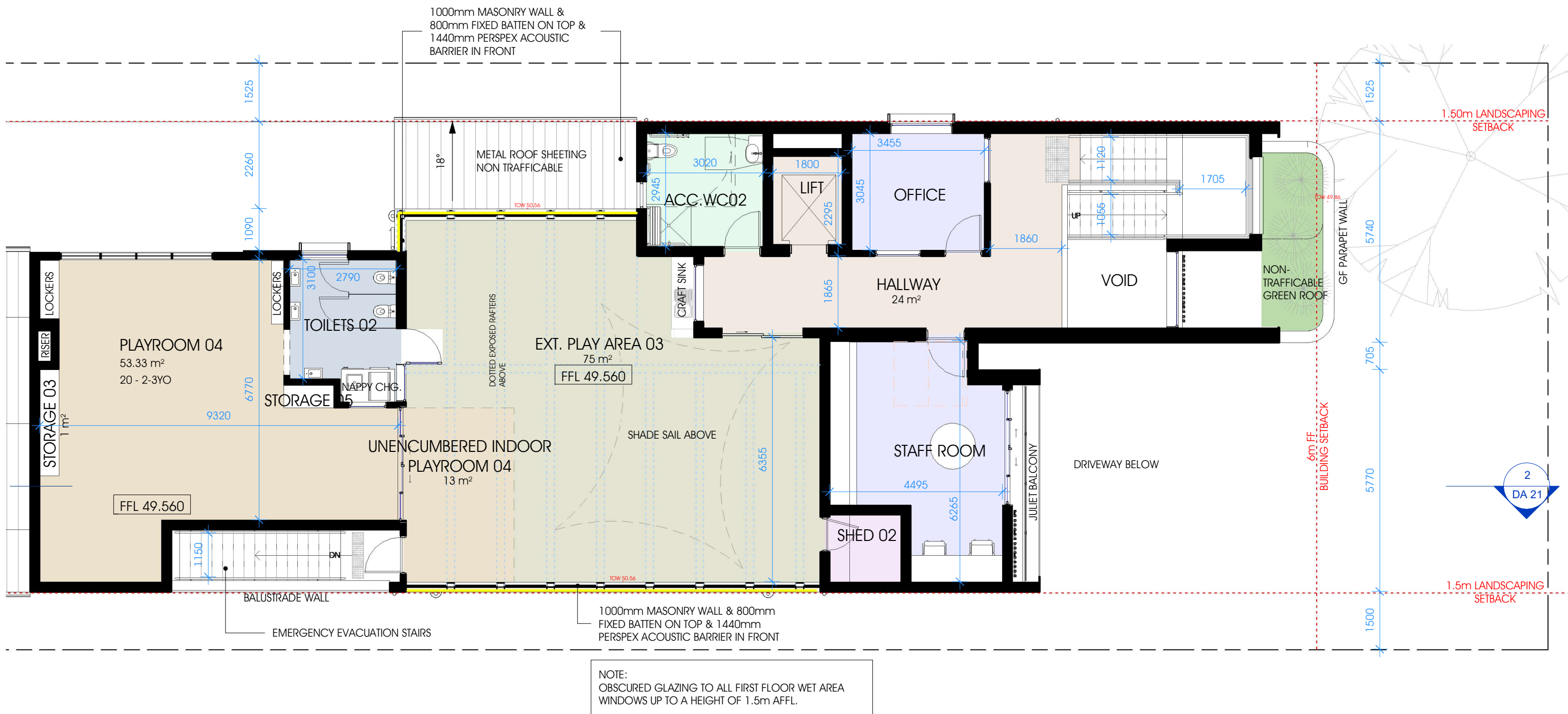


DA 09

ENTITY 8886


PROPOSED CHILDCARE CENTRE

0 1 2m
LOT 47, SEC. A, DP110163, 86 THE AVENUE, BANKSTOWN NSW
2200




FIRST FLOOR PLAN

SCALE 1 : 100 (A3)



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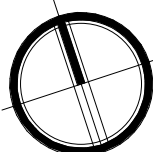
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A	ISSUED TO CLIENT FOR COMMENTS	19.09.23
B	ISSUED TO CLIENT FOR APPROVAL	30.11.23
D	REVISED FF - ISSUED TO CLIENT FOR APPROVAL	04.04.24
E	ISSUED TO COUNCIL FOR DEVELOPMENT APPLICATION	03.07.24

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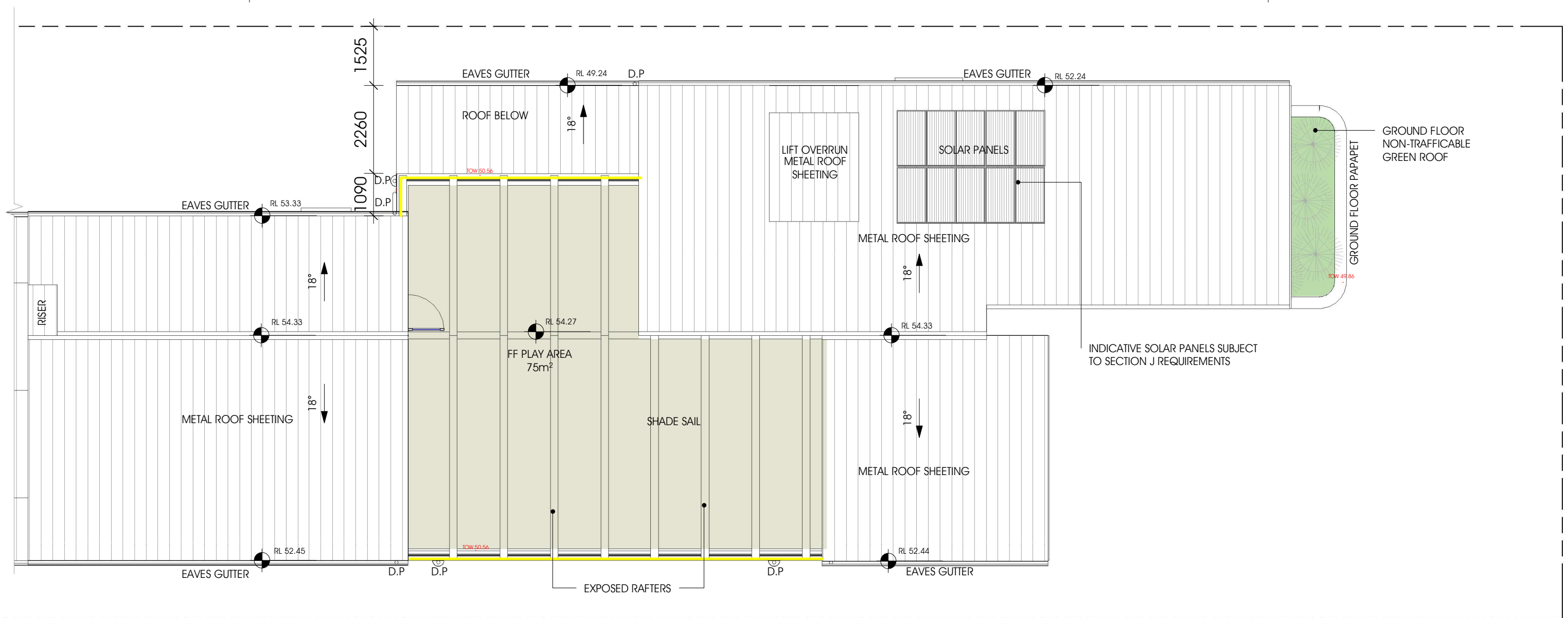
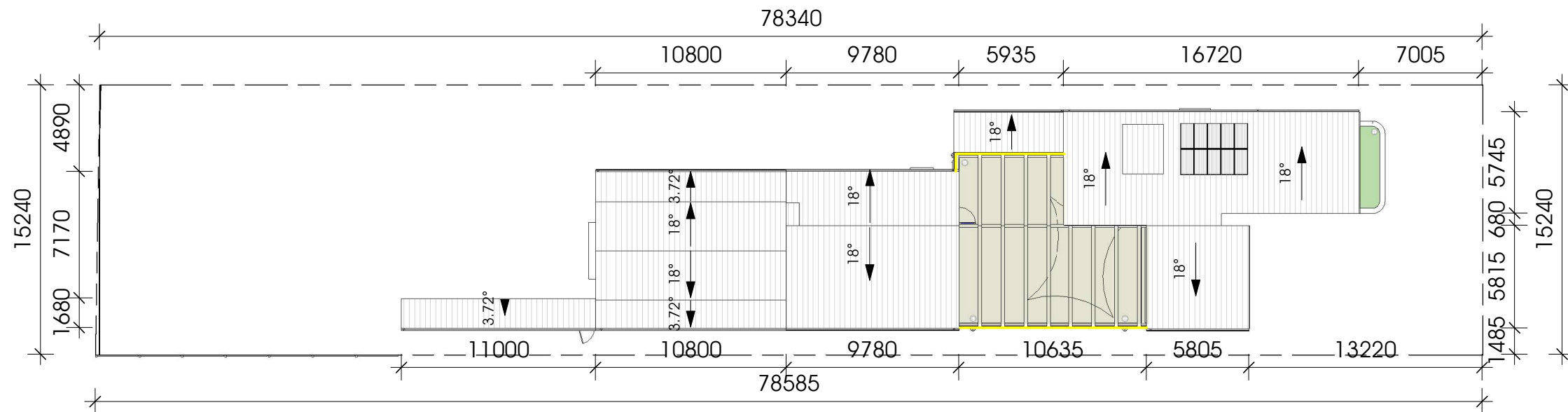
DA 10

ENTITY 8886

PROPOSED CHILDCARE CENTRE

0 1 2m

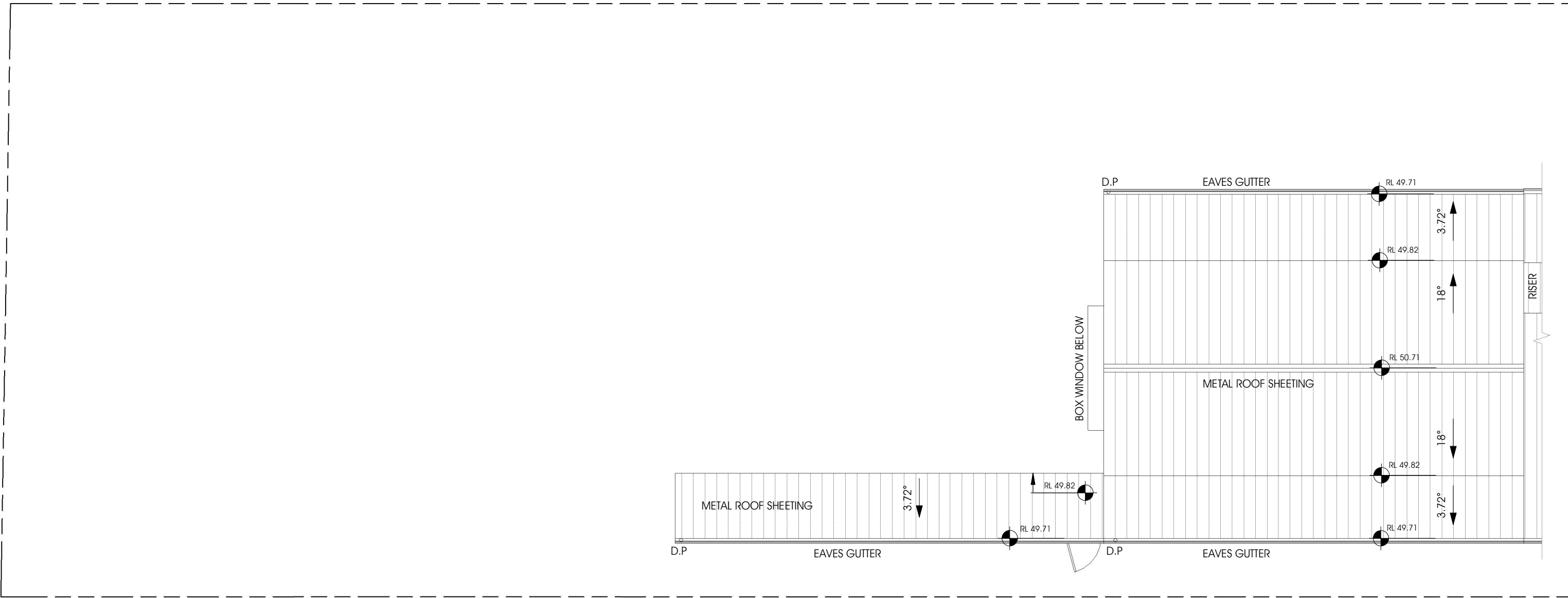
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ROOF PLAN

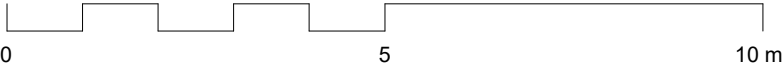
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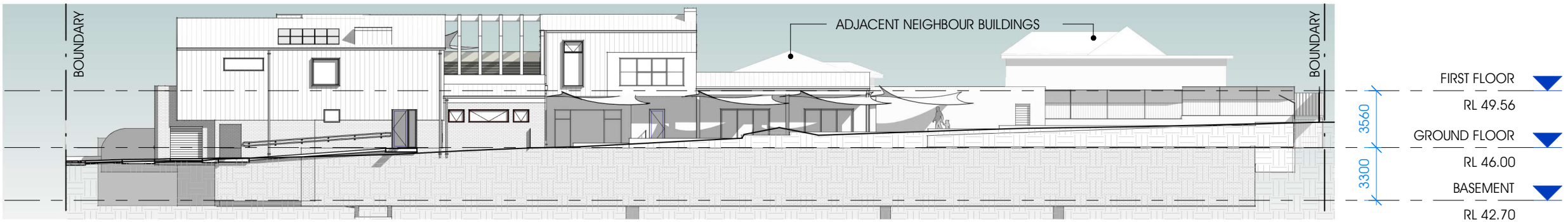
ROOF PLAN

SCALE 1 : 100 (A3)



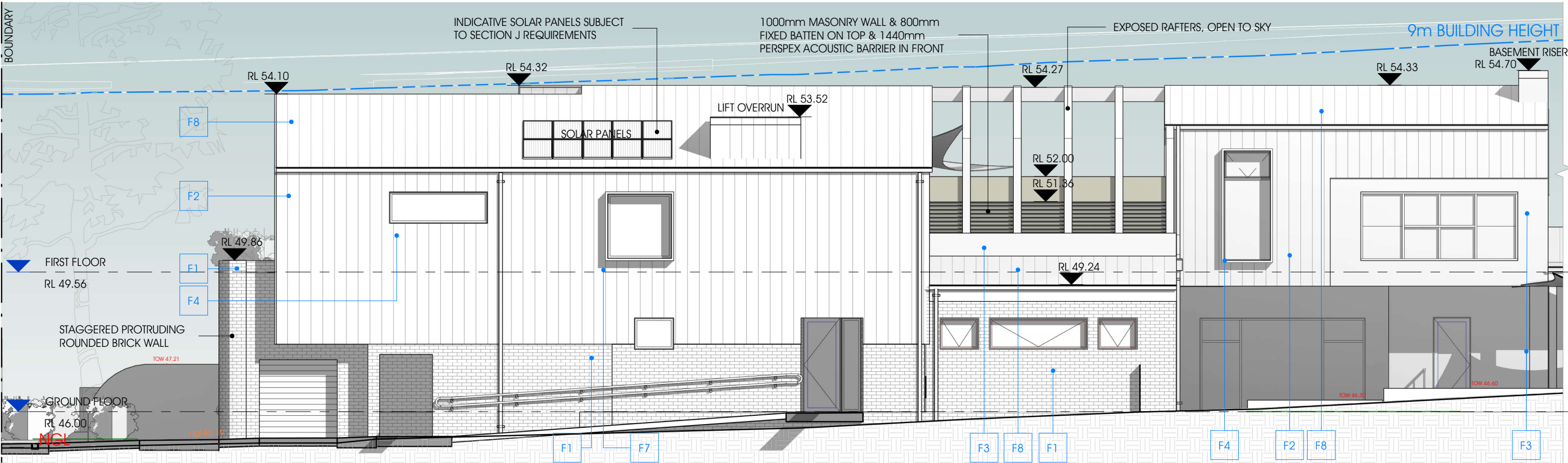
FOR DEVELOPMENT APPLICATION

	ENVISION BUILDING DESIGN STUDIO PTY.LTD P. 0455 025 207 projects@envisionbuildingdesign.com.au 17 Kenyon Street, Fairfield, NSW 2165 Envisionbuildingdesign.com.au	 ACCREDITED BUILDING DESIGNER	E ISSUED TO COUNCIL FOR DEVELOPMENT APPLICATION 03.07.24	AMENDMENTS:	PROJECT NO.:		DA 12	ENTITY 8886
					PROPOSED CHILDCARE CENTRE			
					LOT 47, SEC. A, DP110163, 86 THE AVENUE, BANKSTOWN NSW 2200			



EXTERNAL FINISHES SCHEDULE

							
F1- Face Brick & Protruding Bricks Austral Bricks Neutrals Natural Linen	F2- Metal Wall Cladding (Non-Combustible) Lysaght Imperial 325 Colorbond Dune	F3- Render Finish Dulux Master Beige	F4- Door/Windows Powdercoat Dulux Copper Metallic Kinetic	F5- Gutters & Downpipes Colorbond Dune	F6- Timber Look Metal Battens (Non-Combustible) Cover Ever Art Wood T2C Screen Bracket System in Neikiddo Moku	F7- Metal Window Hoods Heka Hoods Core Series Dulux Copper Metallic Kinetic	F8- Metal Roof Sheetting Lysaght Imperial 325 Colorbond Dune



NORTH ELEVATION

SCALE 1 : 100 (A3)

NOTE:
OBSCURED GLAZING TO ALL FIRST FLOOR WET
AREA WINDOWS UP TO A HEIGHT OF 1.5m AFFL.

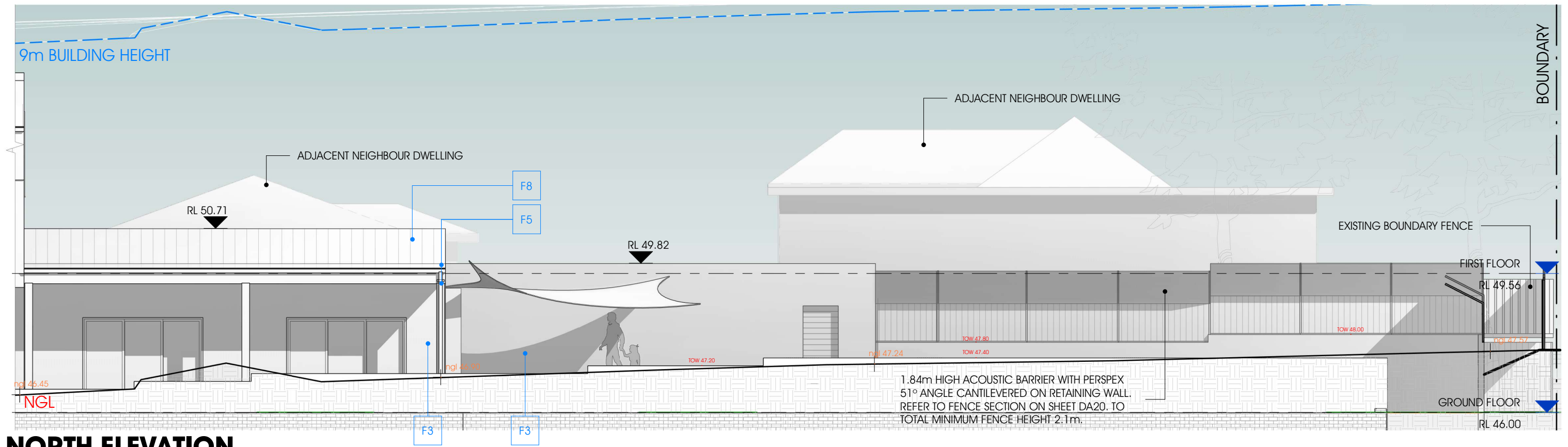
AMENDMENTS:

PROJECT NO.:

FOR DEVELOPMENT APPLICATION


EXTERNAL FINISHES SCHEDULE

							
F1- Face Brick & Protruding Bricks Austral Bricks Neutrals Natural Linen	F2- Metal Wall Cladding (Non-Combustible) Lysaght Imperial 325 Colorbond Dune	F3- Render Finish Dulux Master Beige	F4- Door/Windows Powdercoat Dulux Copper Metallic Kinetic	F5- Gutters & Downpipes Colorbond Dune	F6- Timber Look Metal Battens (Non-Combustible) Covet Ever Art Wood T2C Screen Bracket System in Neikiddo Moku	F7- Metal Window Hoods Heka Hoods Core Series Dulux Copper Metallic Kinetic	F8- Metal Roof Sheetting Lysaght Imperial 325 Colorbond Dune




NORTH ELEVATION

SCALE 1 : 100 (A3)



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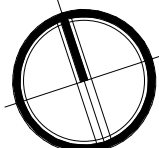
bdad
ACCREDITED
BUILDING DESIGNER

A ISSUED TO CLIENT FOR COMMENTS 19.09.23
B ISSUED TO CLIENT FOR APPROVAL 30.11.23
D REVISED FF - ISSUED TO CLIENT FOR APPROVAL 04.04.24
E ISSUED TO COUNCIL FOR DEVELOPMENT APPLICATION 03.07.24

AMENDMENTS:

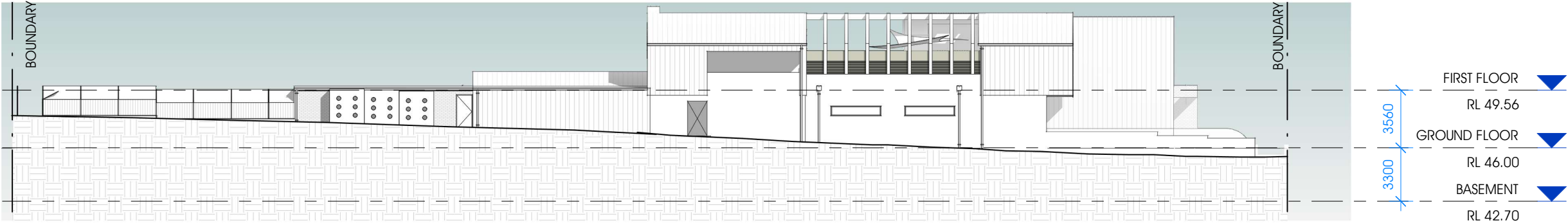
PROJECT NO.:

#186



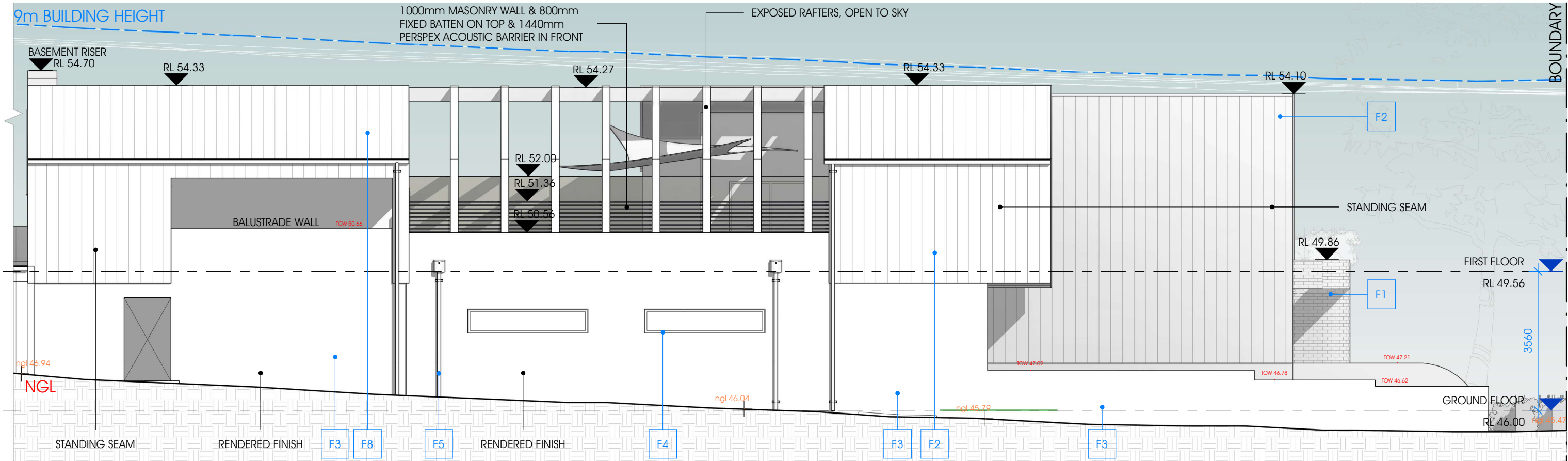
DA 14

ENTITY 8886
PROPOSED CHILDCARE CENTRE
0 1 2m
LOT 47, SEC. A, DP110163, 86 THE AVENUE, BANKSTOWN NSW 2200




EXTERNAL FINISHES SCHEDULE

							
F1- Face Brick & Protruding Bricks Austral Bricks Neutrals Natural Linen	F2- Metal Wall Cladding (Non-Combustible) Lysaght Imperial 325 Colorbond Dune	F3- Render Finish Dulux Master Beige	F4- Door/Windows Powdercoat Dulux Copper Metallic Kinetic	F5- Gutters & Downpipes Colorbond Dune	F6- Timber Look Metal Battens (Non-Combustible) Covet Ever Art Wood T2C Screen Bracket System in Neikiddo Moku	F7- Metal Window Hoods Heka Hoods Core Series Dulux Copper Metallic Kinetic	F8- Metal Roof Sheetting Lysaght Imperial 325 Colorbond Dune




SOUTH ELEVATION

SCALE 1 : 100 (A3)



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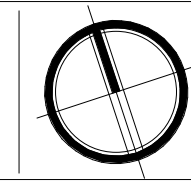


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03.07.24

AMENDMENTS: PROJECT NO.:

#186



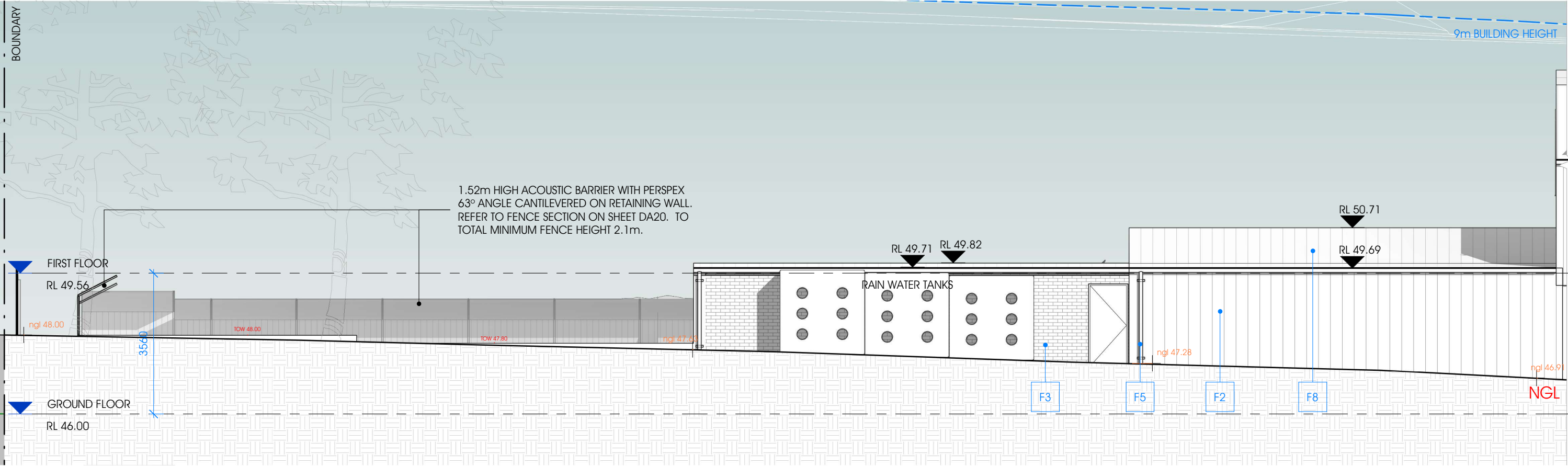
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FOR DEVELOPMENT APPLICATION

ENTITY 8886
PROPOSED CHILDCARE CENTRE
0 1 2m
LOT 47, SEC. A, DP110163, 86 THE AVENUE, BANKSTOWN NSW 2200

EXTERNAL FINISHES SCHEDULE

							
F1- Face Brick & Protruding Bricks Austral Bricks Neutrals Natural Linen	F2- Metal Wall Cladding (Non-Combustible) Lysaght Imperial 325 Colorbond Dune	F3- Render Finish Dulux Master Beige	F4- Door/Windows Powdercoat Dulux Copper Metallic Kinetic	F5- Gutters & Downpipes Colorbond Dune	F6- Timber Look Metal Battens (Non-Combustible) Covet Ever Art Wood T2C Screen Bracket System in Neikiddo Moku	F7- Metal Window Hoods Heka Hoods Core Series Dulux Copper Metallic Kinetic	F8- Metal Roof Sheetting Lysaght Imperial 325 Colorbond Dune




SOUTH ELEVATION

SCALE 1 : 100 (A3)


0 5 10 m

AMENDMENTS: PROJECT NO.:

FOR DEVELOPMENT APPLICATION



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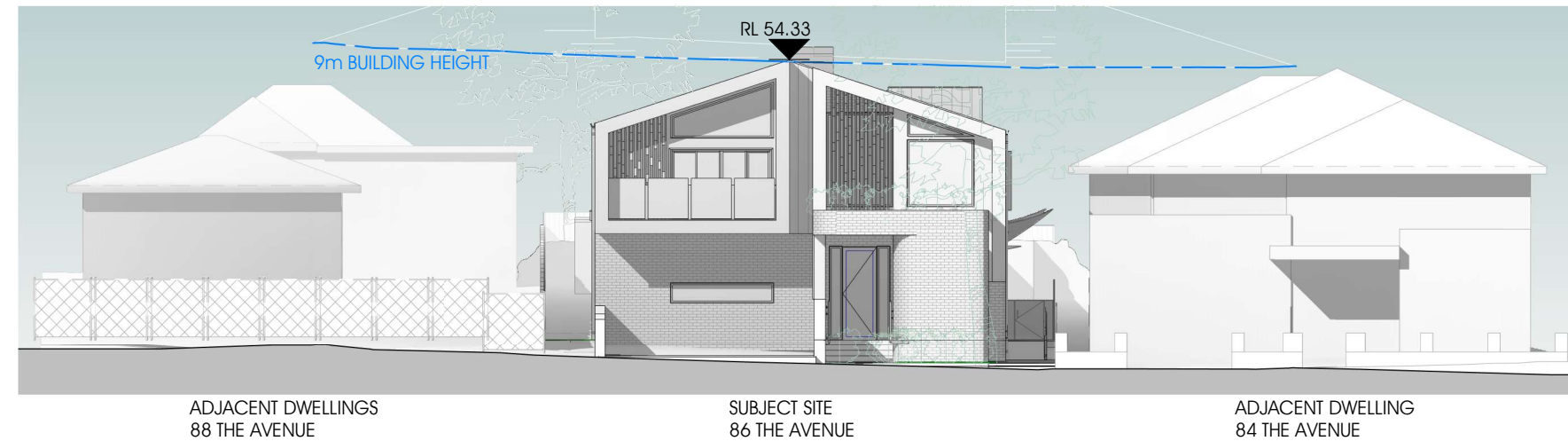
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#186

DA 16

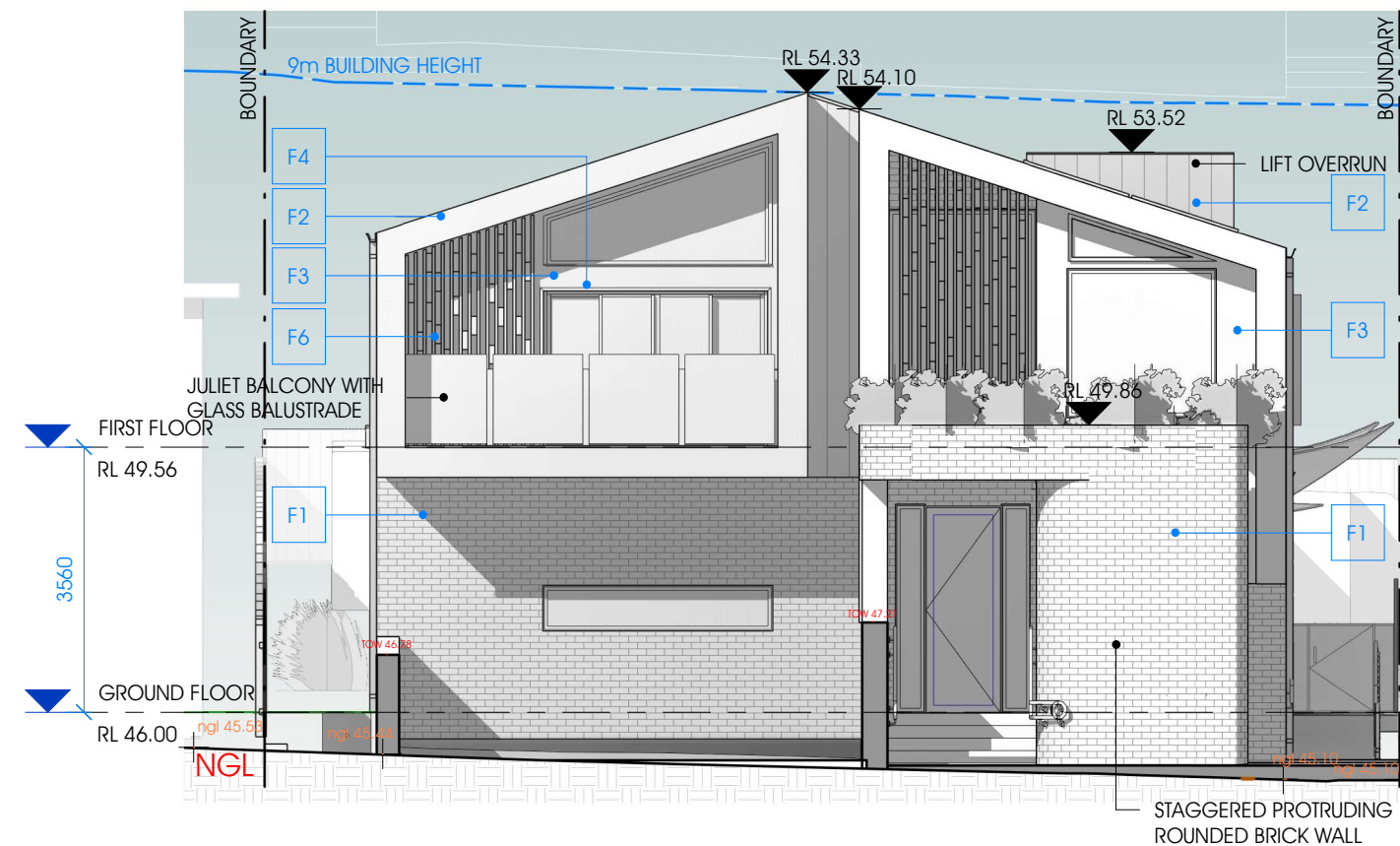
ENTITY 8886
PROPOSED CHILDCARE CENTRE

0 1 2m
LOT 47, SEC. A, DP110163, 86 THE AVENUE, BANKSTOWN NSW 2200



STREETSCAPE ELEVATION

SCALE 1 : 200 (A3)



EAST ELEVATION

SCALE 1 : 100 (A3)

0 5 10 m FOR DEVELOPMENT APPLICATION



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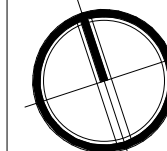
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03.07.24

AMENDMENTS:

PROJECT NO.:

#186

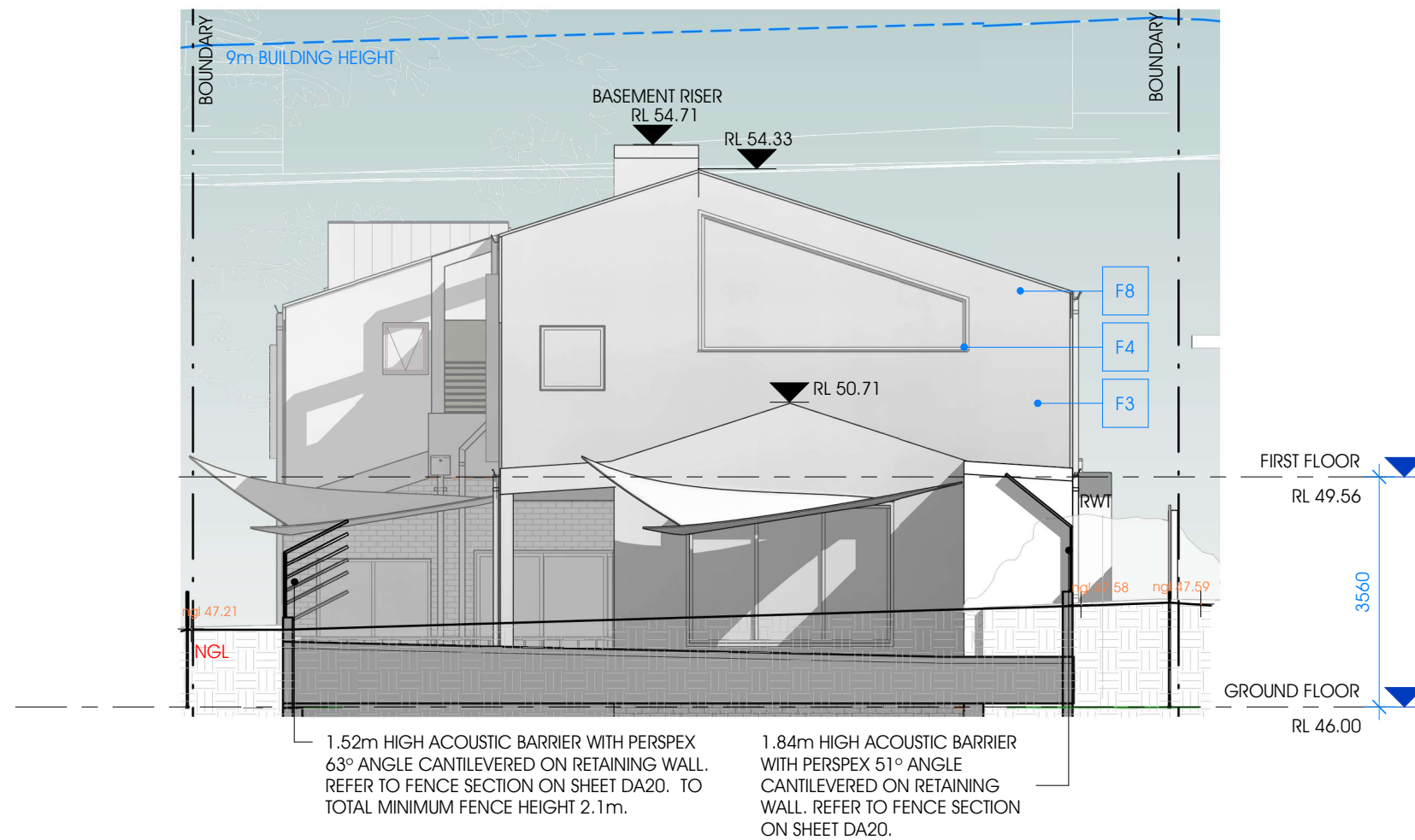


DA 17

ENTITY 8886

PROPOSED CHILDCARE CENTRE

0 1 2m
LOT 47, SEC. A, DP110163, 86 THE AVENUE, BANKSTOWN NSW
2200



WEST ELEVATION

SCALE 1 : 100 (A3)

FOR DEVELOPMENT APPLICATION



SECTION A-A

SCALE 1 : 100 (A3)

0 5 10 m

AMENDMENTS: PROJECT NO.:

FOR DEVELOPMENT APPLICATION



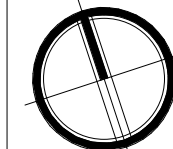
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DA 19

ENTITY 8886

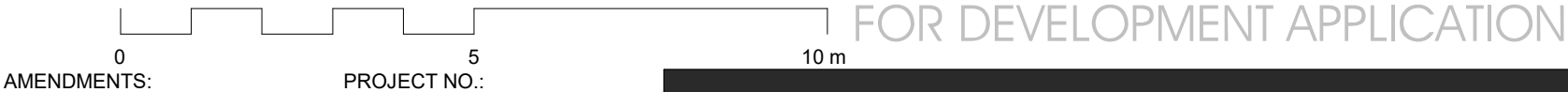
PROPOSED CHILDCARE CENTRE


0 1 2m
 LOT 47, SEC. A, DP110163, 86 THE AVENUE, BANKSTOWN NSW
 2200




SECTION A-A

SCALE 1 : 100 (A3)





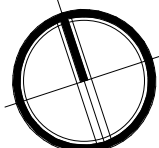
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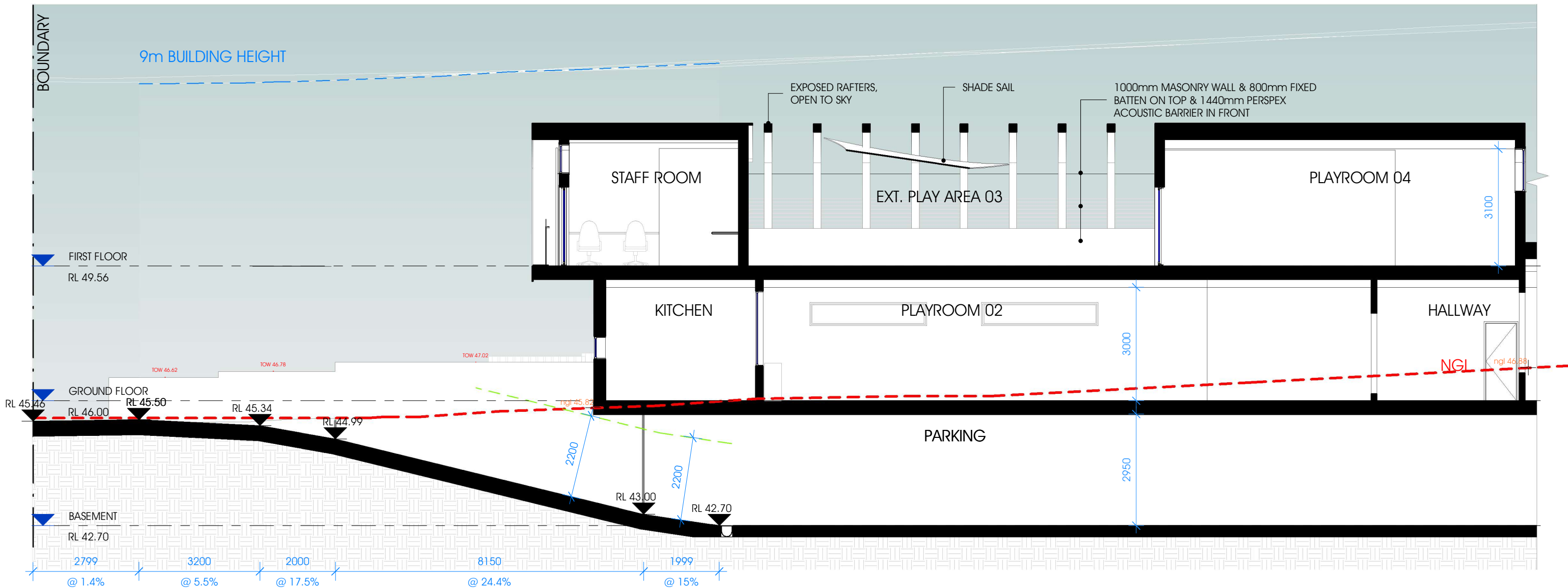
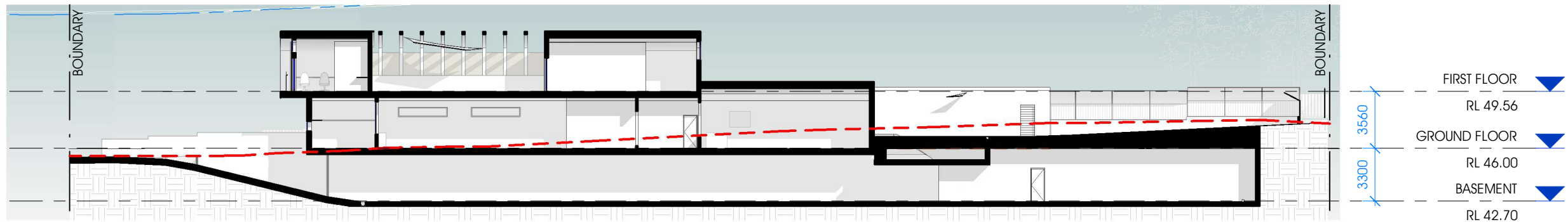
E ISSUED TO COUNCIL FOR DEVELOPMENT APPLICATION 03.07.24

#186



DA 20

ENTITY 8886
PROPOSED CHILDCARE CENTRE
0 1 2m
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SECTION B-B

SCALE 1 : 100 (A3)

0 5 10 m FOR DEVELOPMENT APPLICATION

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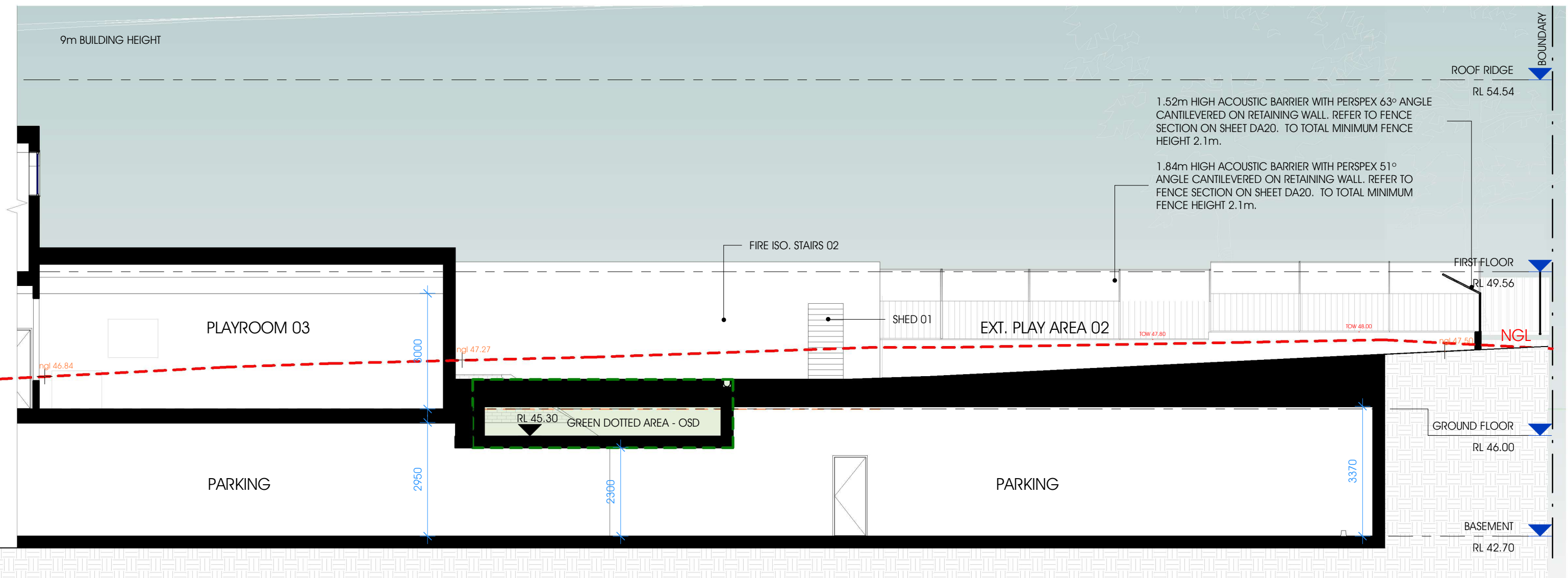
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AMENDMENTS: PROJECT NO.:

#186

DA 21



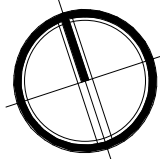
ENTITY 8886
PROPOSED CHILDCARE CENTRE
0 1 2m
LOT 47, SEC. A, DP110163, 86 THE AVENUE, BANKSTOWN NSW 2200



SECTION B-B

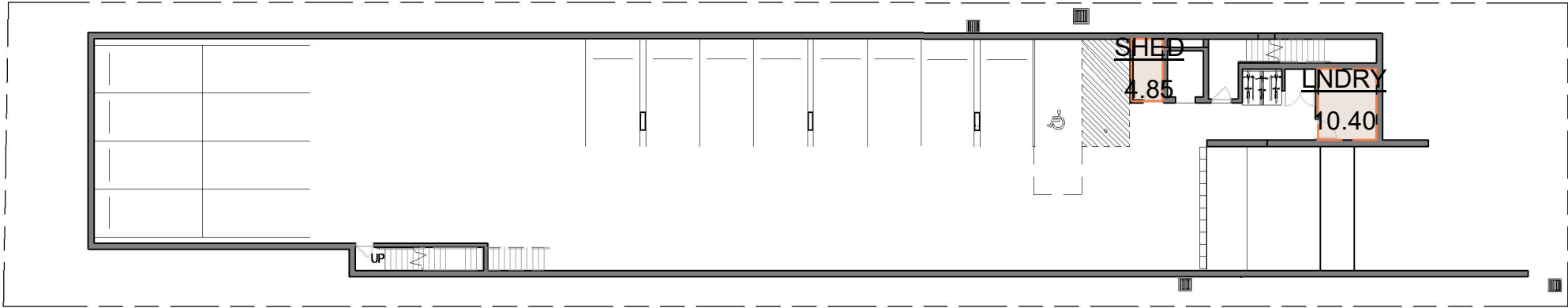
SCALE 1 : 100 (A3)



 <p>ENVISION BUILDING DESIGN STUDIO PTY.LTD P. 0455 025 207 projects@envisionbuildingdesign.com.au 17 Kenyon Street, Fairfield, NSW 2165 Envisionbuildingdesign.com.au</p>	 <p>ACCREDITED BUILDING DESIGNER</p>	<p>E ISSUED TO COUNCIL FOR DEVELOPMENT APPLICATION 03.07.24</p>	<p>AMENDMENTS: 0 PROJECT NO.: 5</p>	<p>#186</p>		<p>DA 22</p>	<p>ENTITY 8886 PROPOSED CHILDCARE CENTRE 0 1 2m LOT 47, SEC. A, DP110163, 86 THE AVENUE, BANKSTOWN NSW 2200</p>
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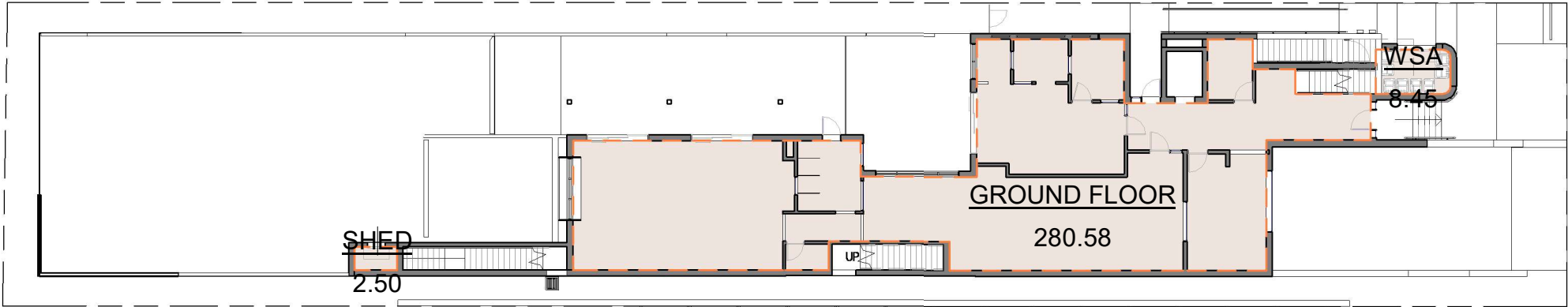
BASEMENT

SCALE 1 : 300 (A3)



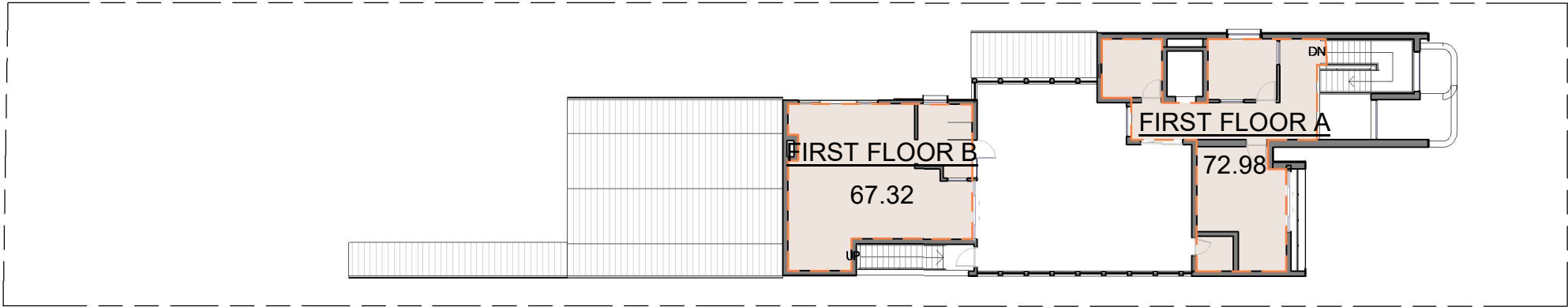
GROUND FLOOR

SCALE 1 : 300 (A3)



FIRST FLOOR

SCALE 1 : 300 (A3)



GROSS FLOOR AREA

BASEMENT	
SHED	4.85 m ²
LNDRY	10.40 m ²
GROUND FLOOR	
GROUND FLOOR	280.58 m ²
SHED	2.50 m ²
WSA	8.45 m ²
FIRST FLOOR	
FIRST FLOOR A	72.98 m ²
FIRST FLOOR B	67.32 m ²
TOTAL GFA	447.10 m ²

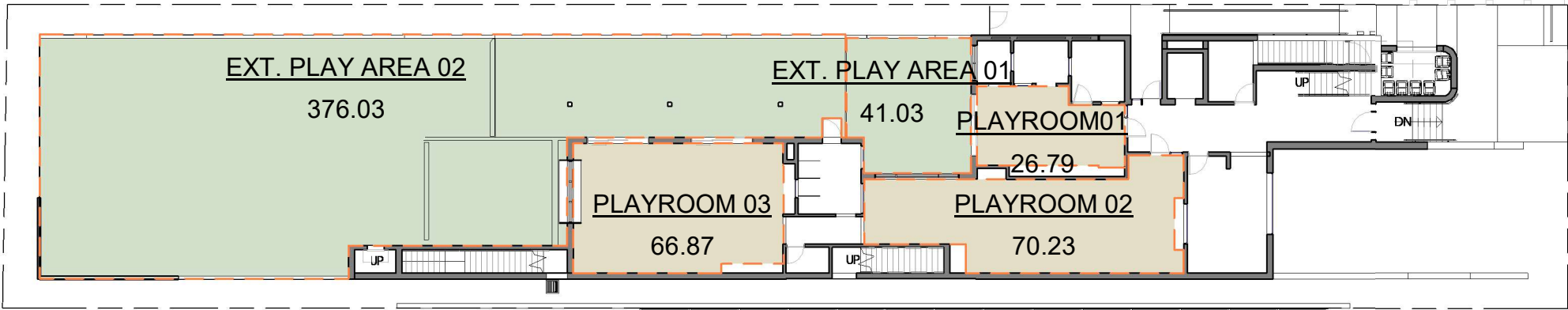
GFA CALCULATION LEGEND

	GROSS FLOOR AREA
	OUTDOOR PLAYAREA

FOR DEVELOPMENT APPLICATION

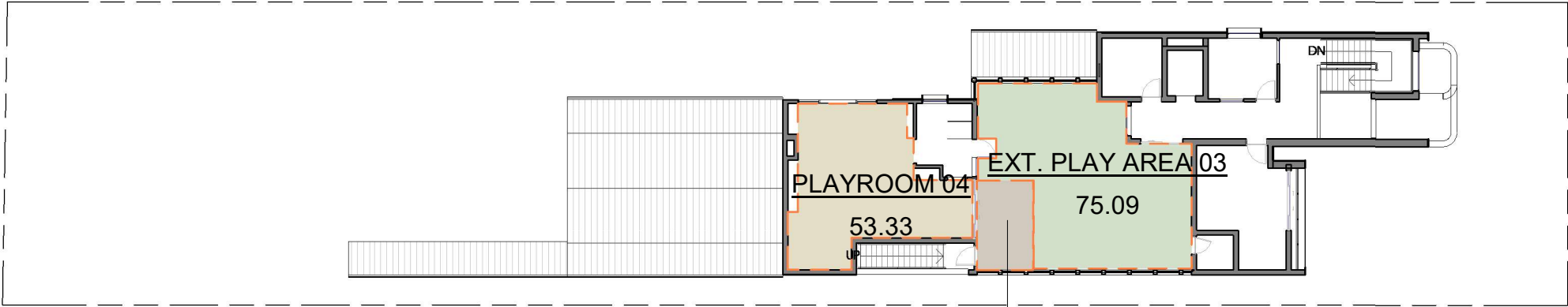
GROUND FLOOR

SCALE 1 : 300 (A3)



FIRST FLOOR

SCALE 1 : 300 (A3)



UNENCUMBERED
INDOOR PLAYROOM 04

12.69

PLAYSPACE CALCULATION LEGEND

- INDOOR PLAYSPACE AREA
- UNENCUMBERED INDOOR PLAYSPACE AREA
- OUTDOOR PLAYSPACE AREA

INTERNAL PLAYSPACE AREA SCHEDULE








Name	Comments	Area Required	Area Provided	Staff Ratio	No. of Staff
PLAYROOM 01	8 - 0-2 YO	26	26.79 m ²	1:4	2
PLAYROOM 02	20 - 3-6 YO	65	70.23 m ²	1:10	2
PLAYROOM 03	20 - 3-6 YO	65	66.87 m ²	1:10	2
PLAYROOM 04	20 - 2-3YO	65	53.33 m ²	1:5	4
UNENCUMBERED INDOOR PLAYROOM 04			12.69 m ²		
		221	229.92 m ²		10

EXTERNAL PLAYSPACE CALCS.

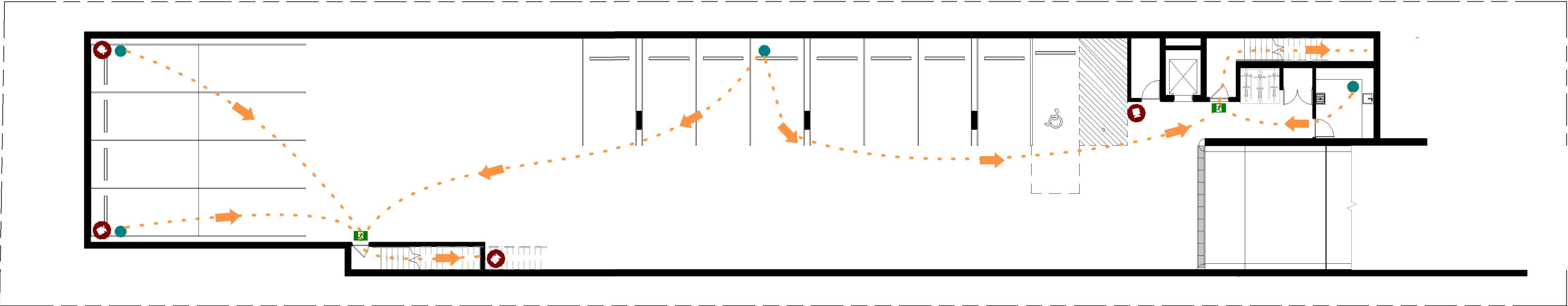
EXT. PLAY AREA 01	41m2
EXT. PLAY AREA 02	376m2
EXT. PLAY AREA 03	75m2

TOTAL 492.0m2

FOR DEVELOPMENT APPLICATION

SYMBOL	ITEM	SYMBOL	ITEM
	MOTION SENSOR WALL/POLE MOUNTED FLOODLIGHTS FOR CARPARK & EXTERNAL AREAS, COVERAGE WITH LUX SENSOR		CCTV CAMERAS
			EVACUATION TRAVEL PATHS
	EMERGENCY ASSEMBLY POINT *ASSEMBLY POINT IN FRONT OF NO. 30 MINTO ROAD, MINTO		FIRE EXITS
			POINT LOCATION
			MUSTER LOCATION








NOTE:
EMERGENCY AND EVACUATION POLICY TO BE SETOUT IN ACCORDANCE WITH AS 3745:2010 - PLANNING FOR EMERGENCIES IN FACILITIES AND OTHER RELEVANT POLICIES



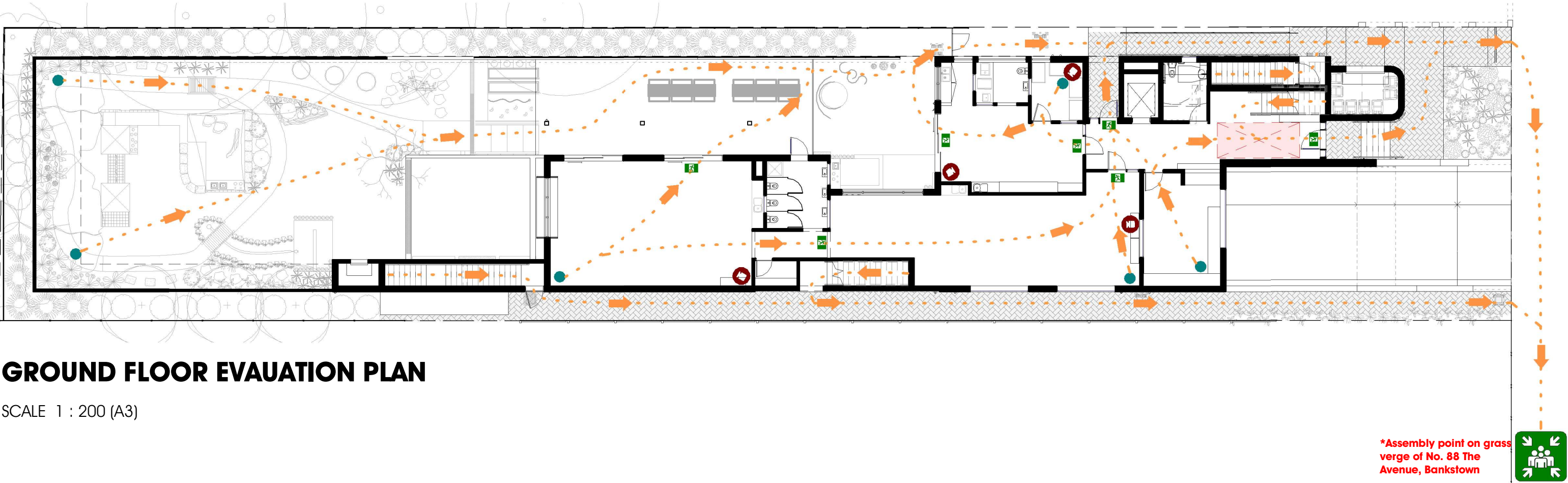
BASEMENT EVACUATION PLAN

SCALE 1 : 200 (A3)

FOR DEVELOPMENT APPLICATION

SYMBOL	ITEM	SYMBOL	ITEM
	MOTION SENSOR WALL/POLE MOUNTED FLOODLIGHTS FOR CARPARK & EXTERNAL AREAS, COVERAGE WITH LUX SENSOR		CCTV CAMERAS
			EVACUATION TRAVEL PATHS
	EMERGENCY ASSEMBLY POINT		FIRE EXITS
	*ASSEMBLY POINT IN FRONT OF NO. 30 MINTO ROAD, MINTO		POINT LOCATION
			MUSTER LOCATION








NOTE:
EMERGENCY AND EVACUATION POLICY TO BE SETOUT IN ACCORDANCE WITH AS 3745:2010 - PLANNING FOR EMERGENCIES IN FACILITIES AND OTHER RELEVANT POLICIES



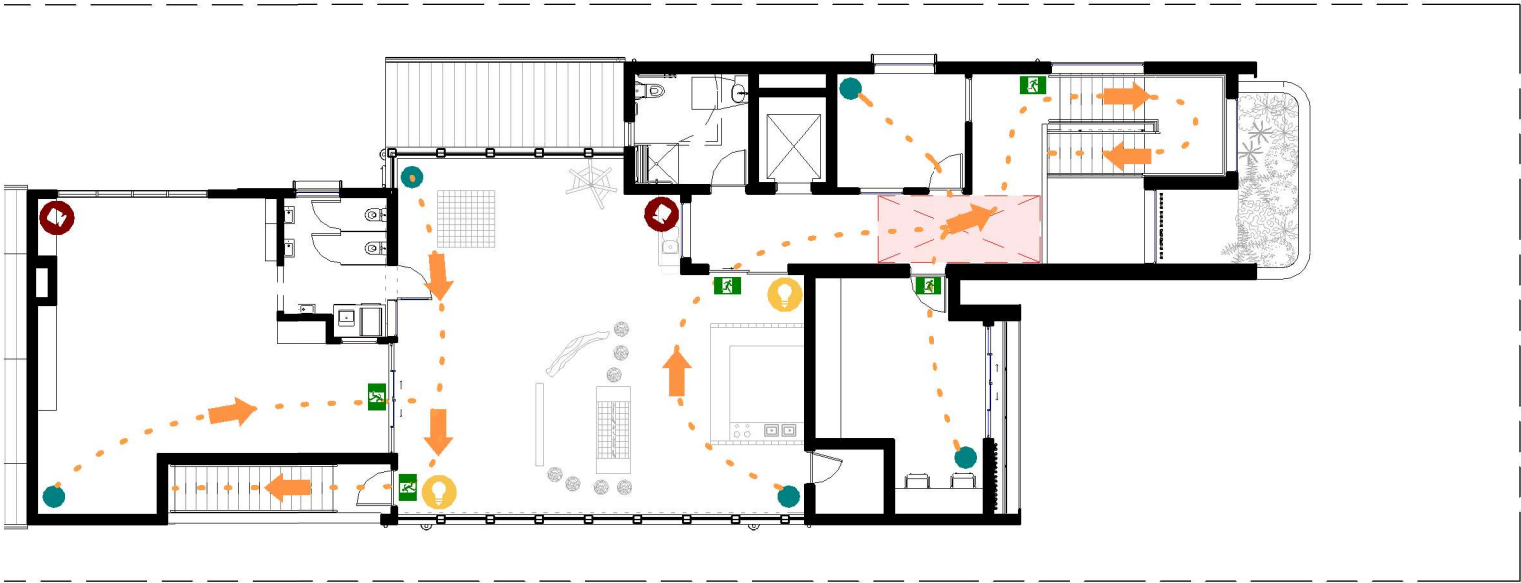
GROUND FLOOR EVAUATION PLAN

SCALE 1 : 200 (A3)

FOR DEVELOPMENT APPLICATION

SYMBOL	ITEM	SYMBOL	ITEM
	MOTION SENSOR WALL/POLE MOUNTED FLOODLIGHTS FOR CARPARK & EXTERNAL AREAS, COVERAGE WITH LUX SENSOR		CCTV CAMERAS
			EVACUATION TRAVEL PATHS
	EMERGENCY ASSEMBLY POINT *ASSEMBLY POINT IN FRONT OF NO. 30 MINTO ROAD, MINTO		FIRE EXITS
			POINT LOCATION
			MUSTER LOCATION

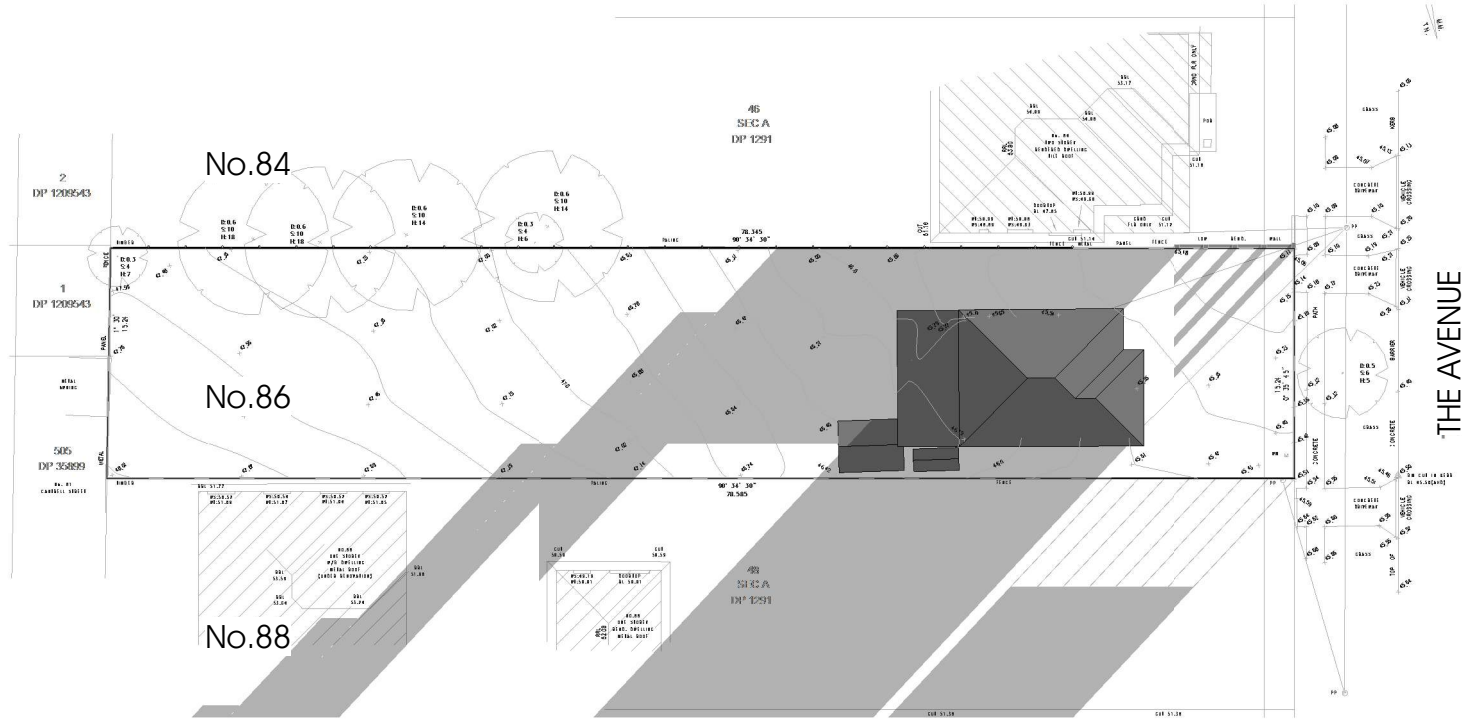
NOTE:
EMERGENCY AND EVACUATION POLICY TO BE SETOUT IN ACCORDANCE WITH AS 3745:2010 - PLANNING FOR EMERGENCIES IN FACILITIES AND OTHER RELEVANT POLICIES



FIRST FLOOR EVACUATION PLAN

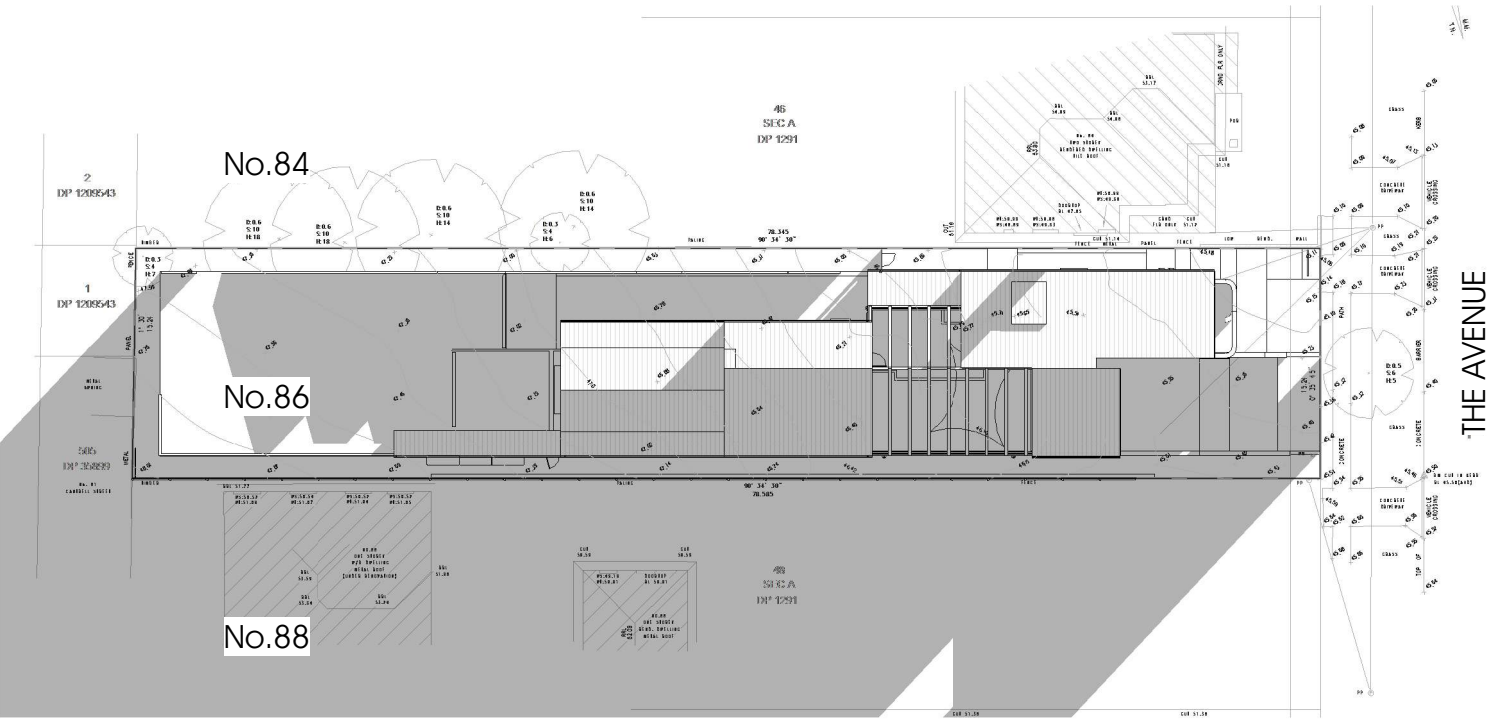
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FOR DEVELOPMENT APPLICATION



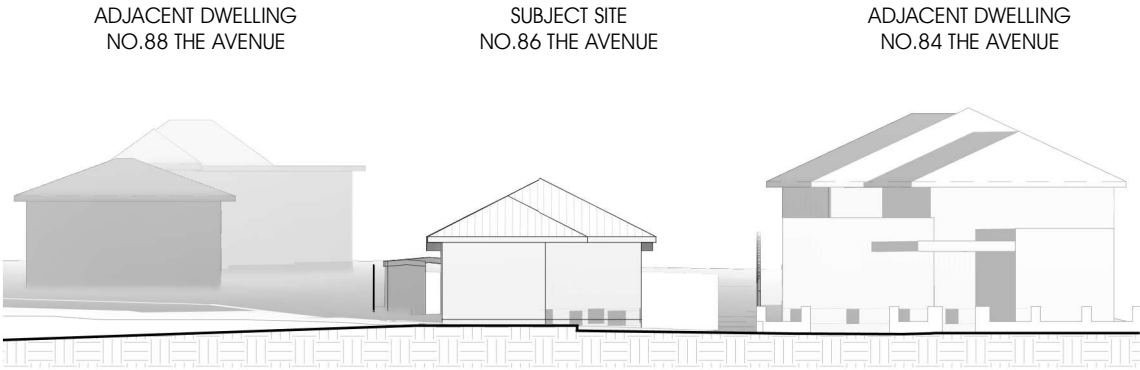
EXISTING SHADOWS 8AM @ 21 JUNE

SCALE 1 : 500 (A3)



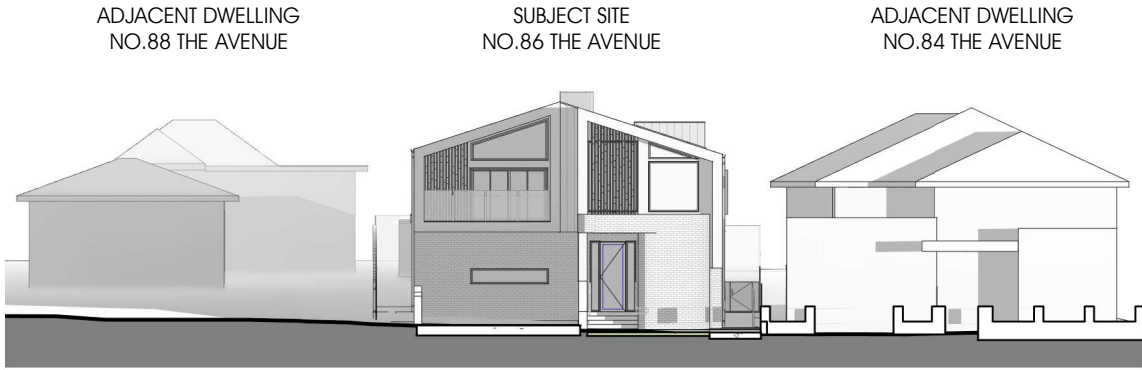
PROPOSED SHADOWS 8AM @ 21 JUNE

SCALE 1 : 500 (A3)



EXISTING ELEVATION SHADOWS 8AM @ 21 JUNE

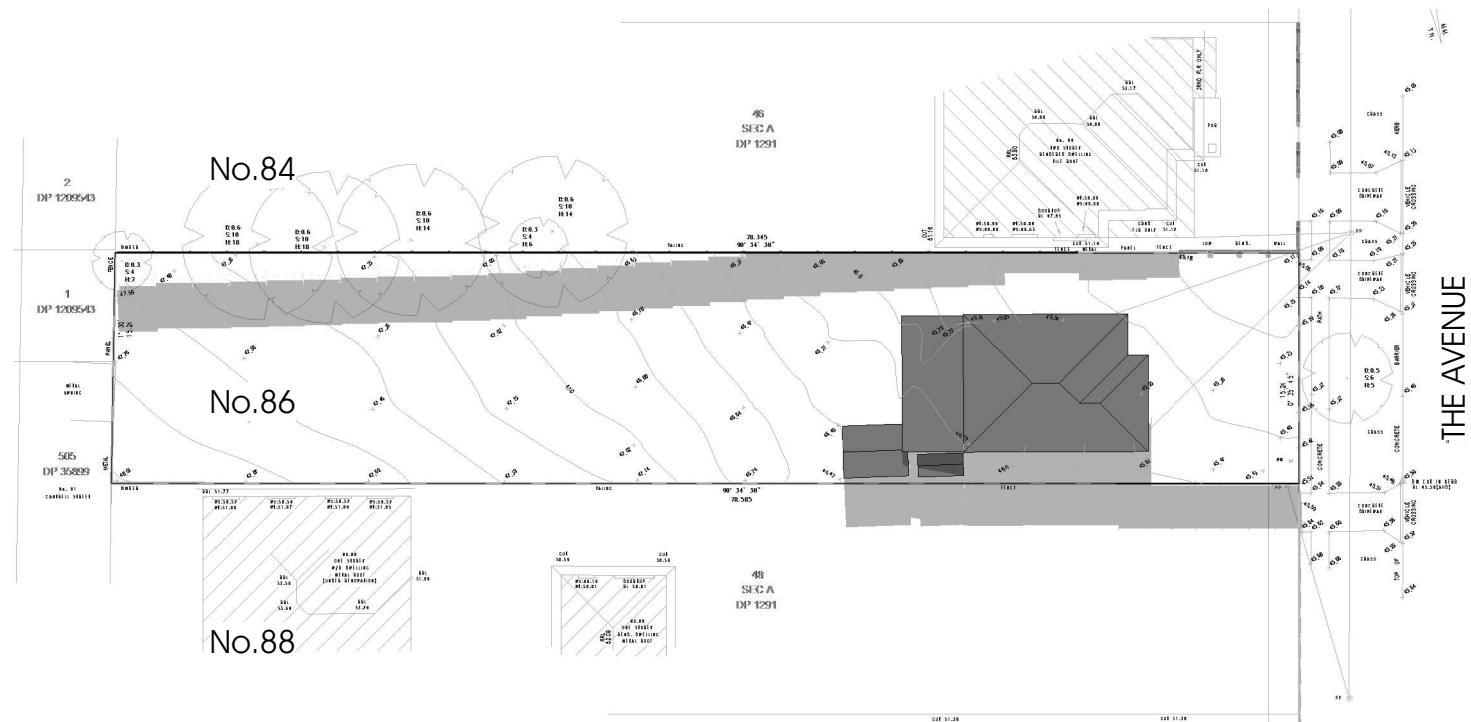
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PROPOSED ELEVATION SHADOWS 8AM @ 21 JUNE

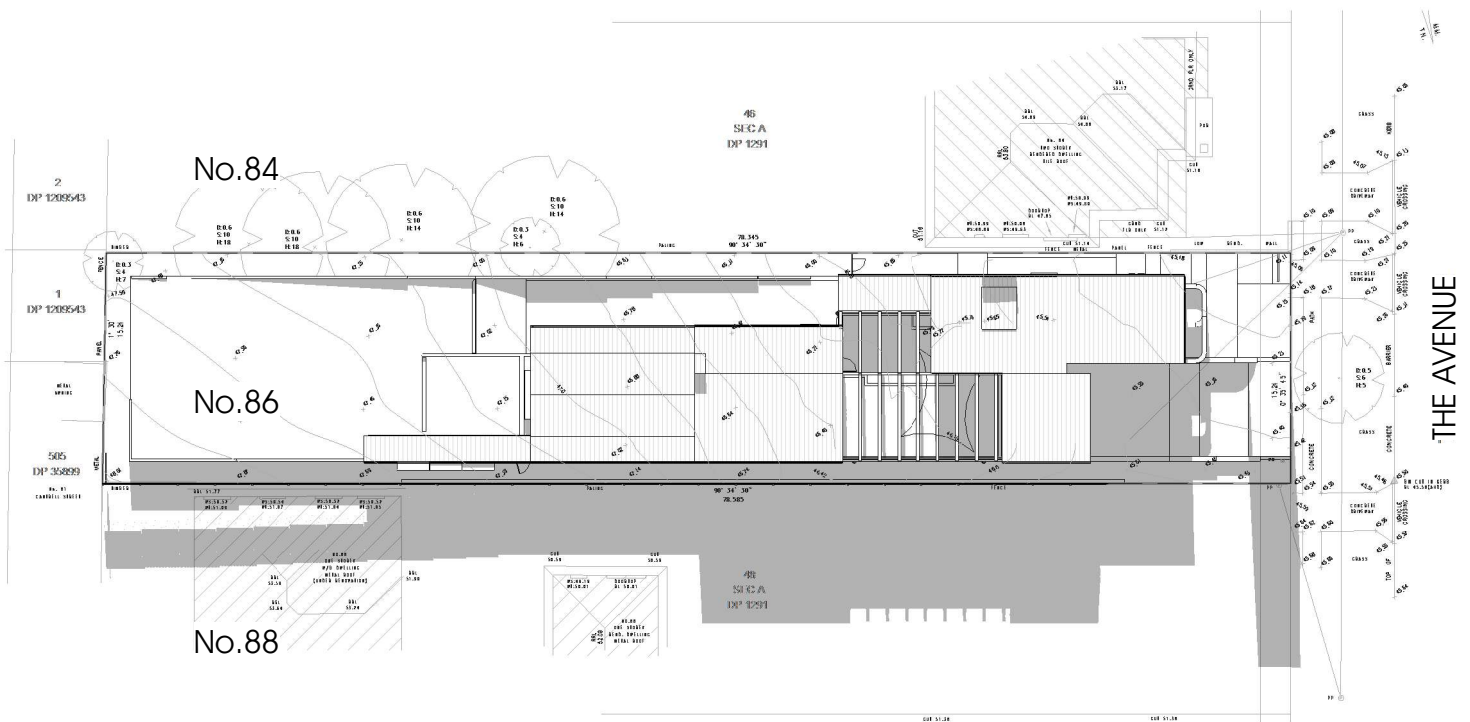
SCALE 1 : 300 (A3)

FOR DEVELOPMENT APPLICATION



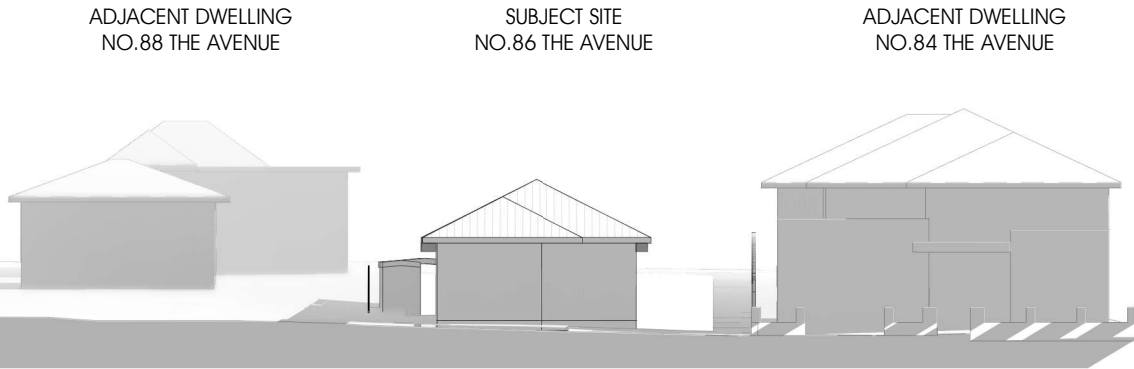
EXISTING SHADOWS 12PM @ 21 JUNE

SCALE 1 : 500 (A3)



PROPOSED SHADOWS 12PM @ 21 JUNE

SCALE 1 : 500 (A3)



EXISTING ELEVATION SHADOWS 12PM @ 21 JUNE

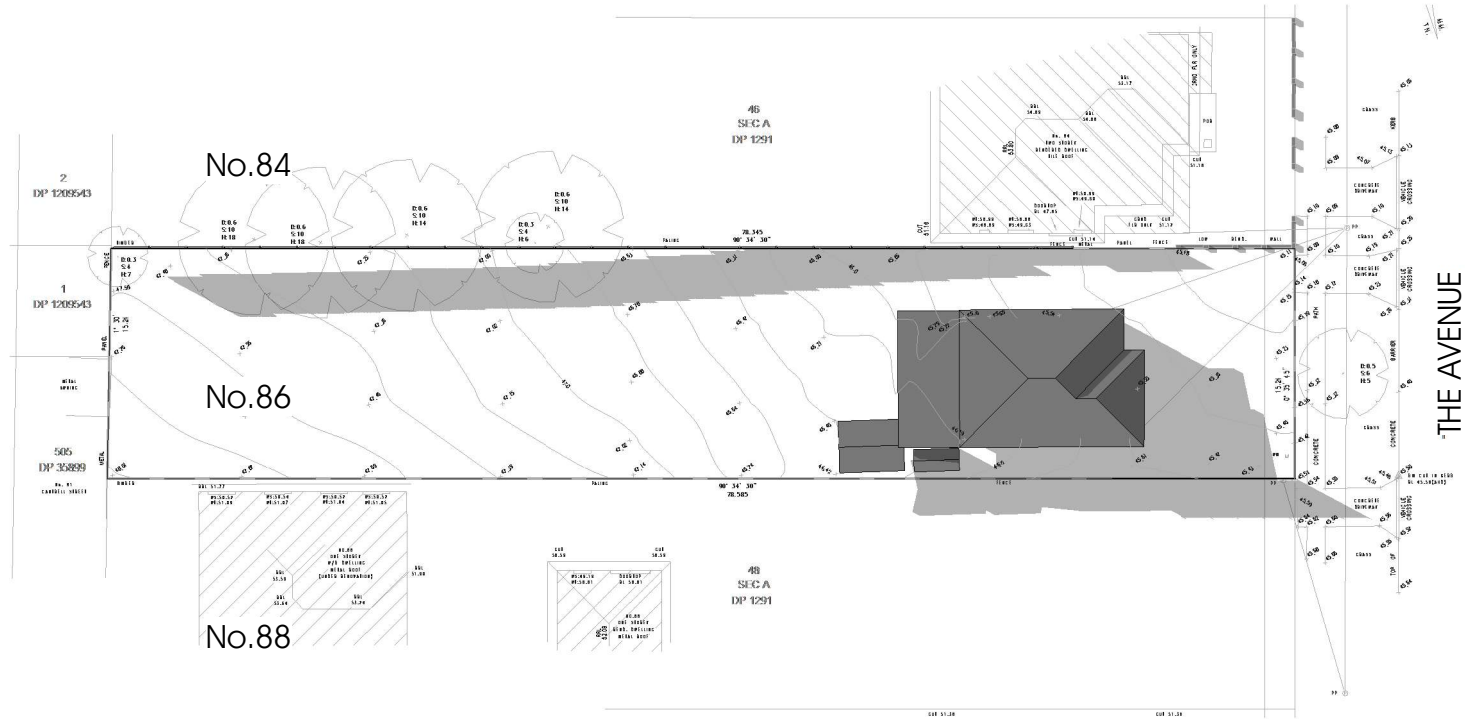
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PROPOSED ELEVATION SHADOWS 12PM @ 21 JUNE

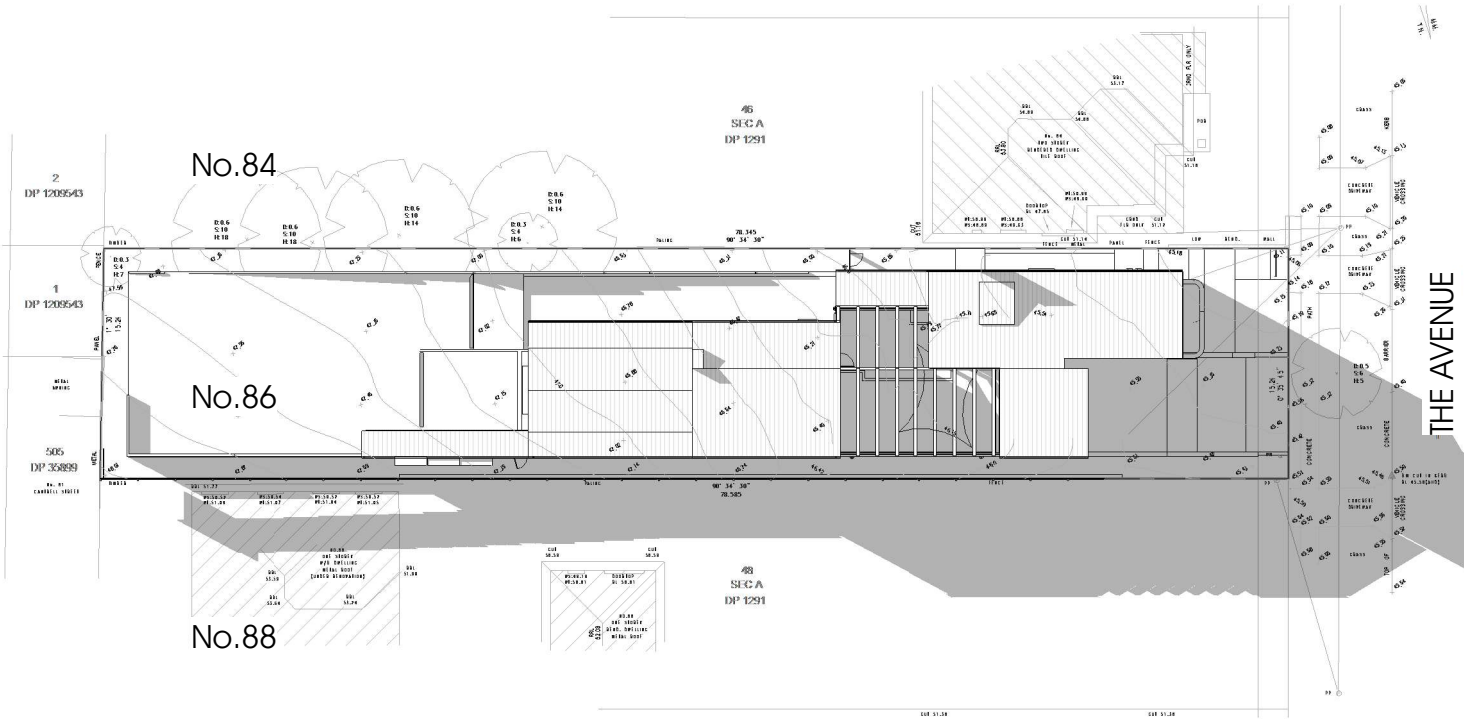
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FOR DEVELOPMENT APPLICATION



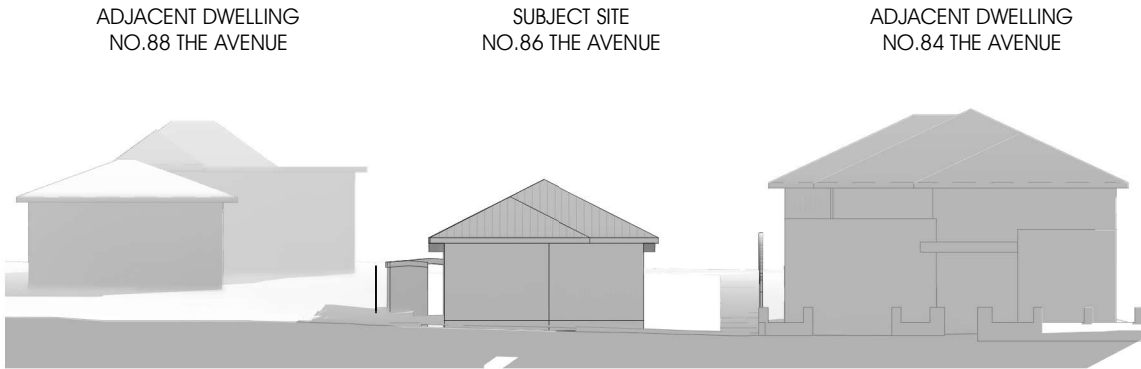
EXISTING SHADOWS 4PM @ 21 JUNE

SCALE 1 : 500 (A3)



PROPOSED SHADOWS 4PM @ 21 JUNE

SCALE 1 : 500 (A3)



EXISTING ELEVATION SHADOWS 4PM @ 21 JUNE

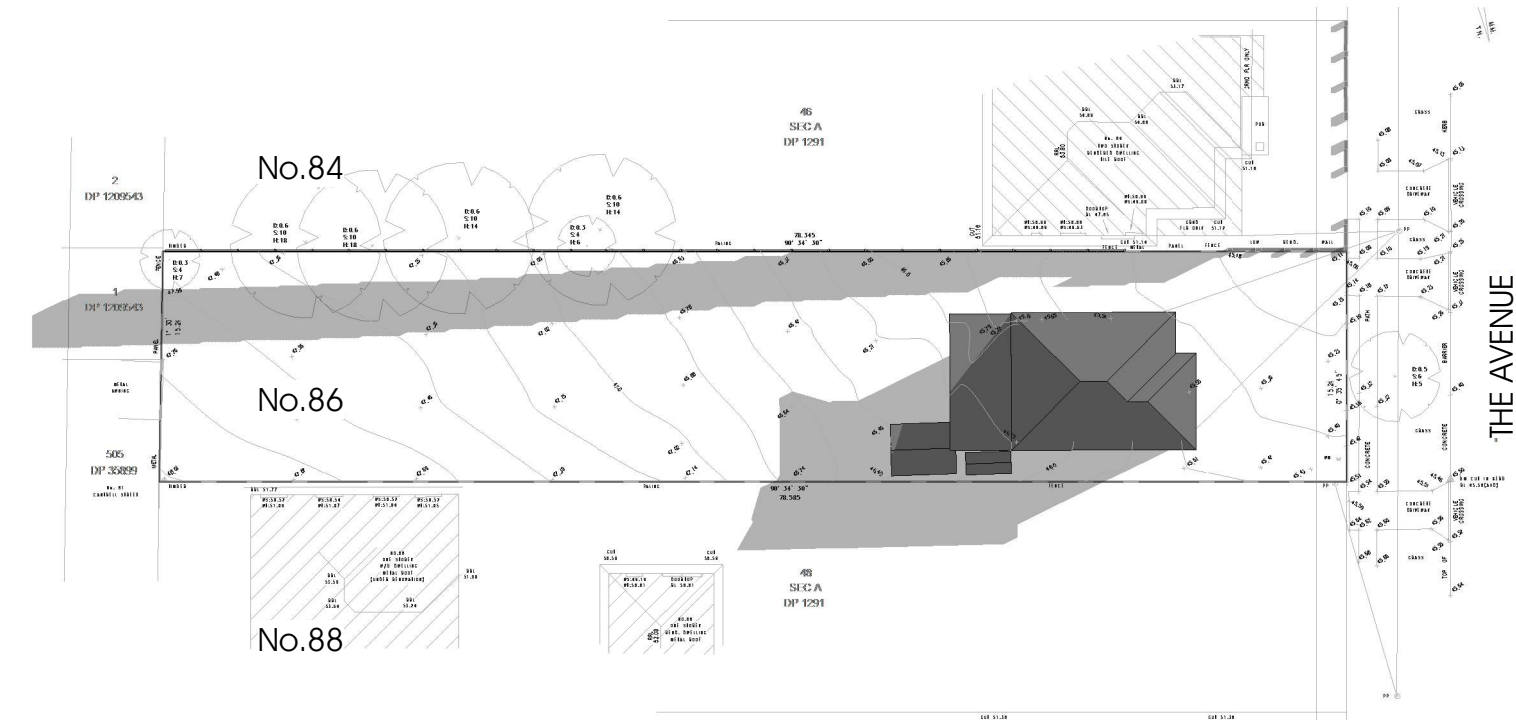
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PROPOSED ELEVATION SHADOWS 4PM @ 21 JUNE

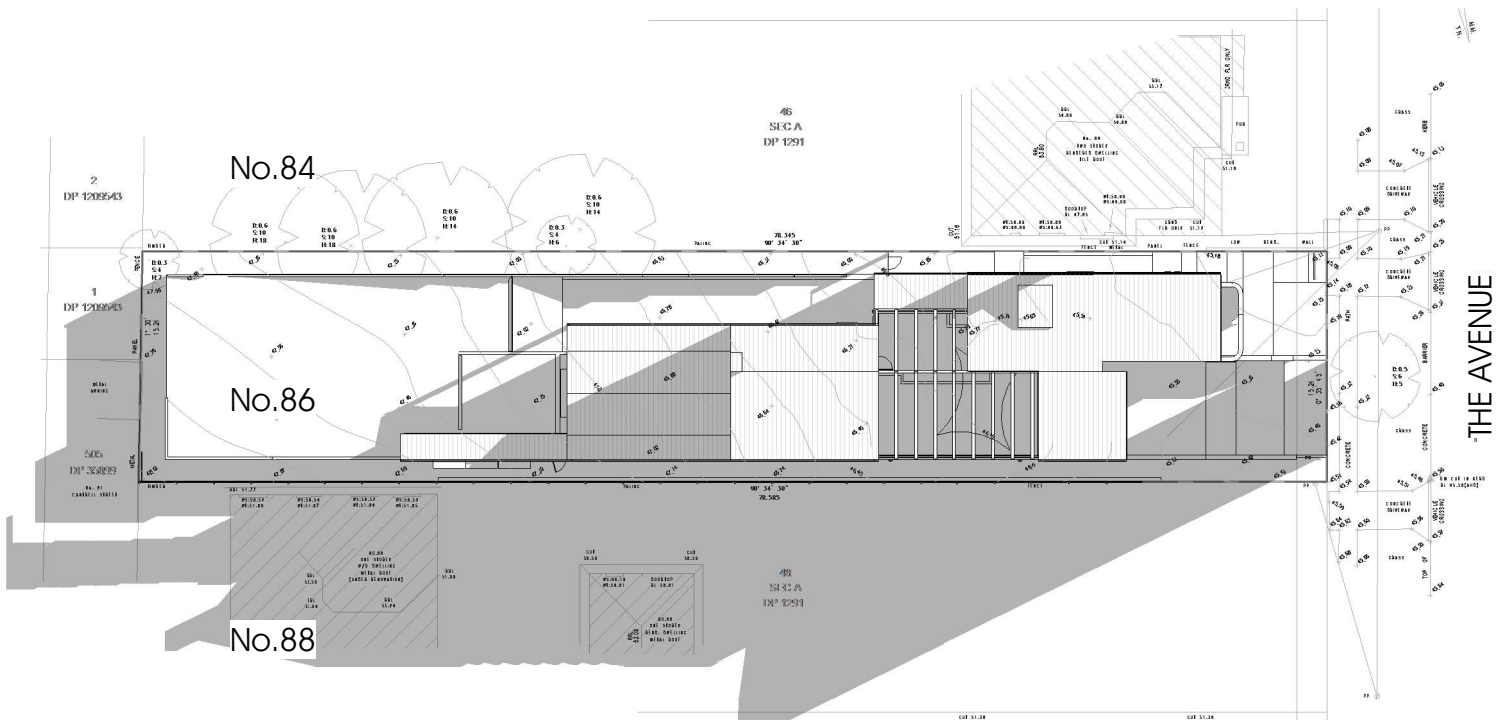
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FOR DEVELOPMENT APPLICATION



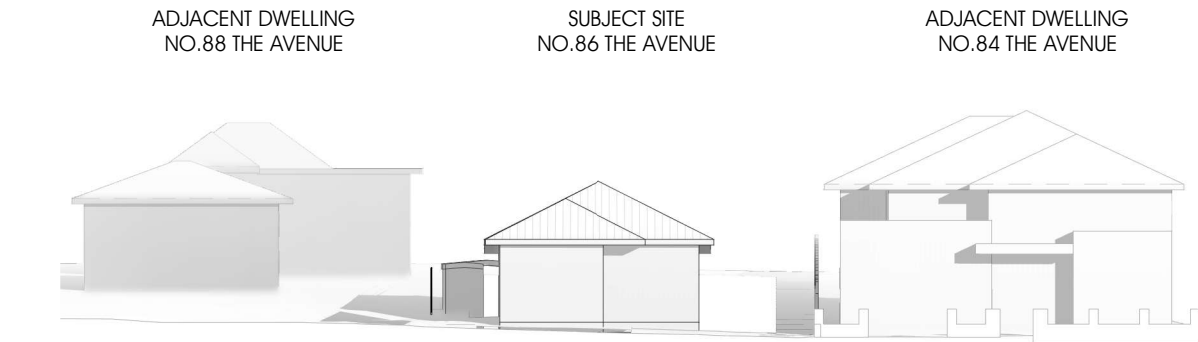
EXISTING SHADOWS 8AM EQUINOX

SCALE 1 : 500 (A3)



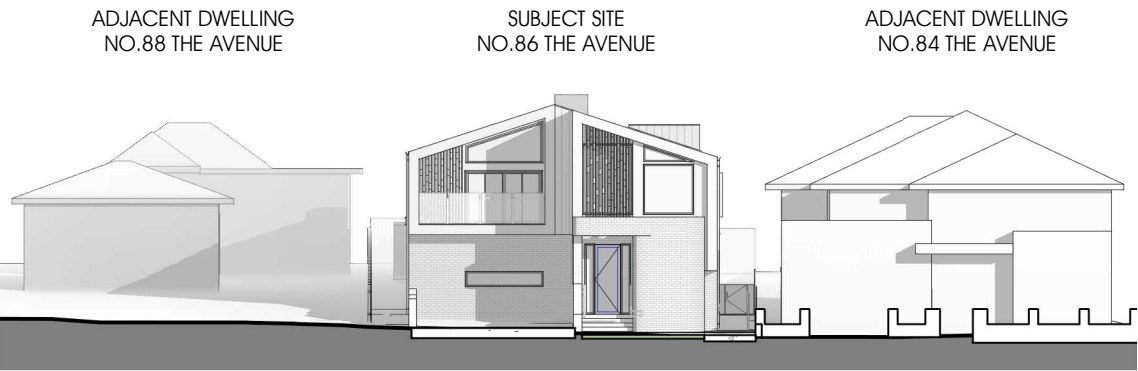
PROPOSED SHADOWS 8AM EQUINOX

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EXISTING ELEVATION SHADOWS 8AM EQUINOX

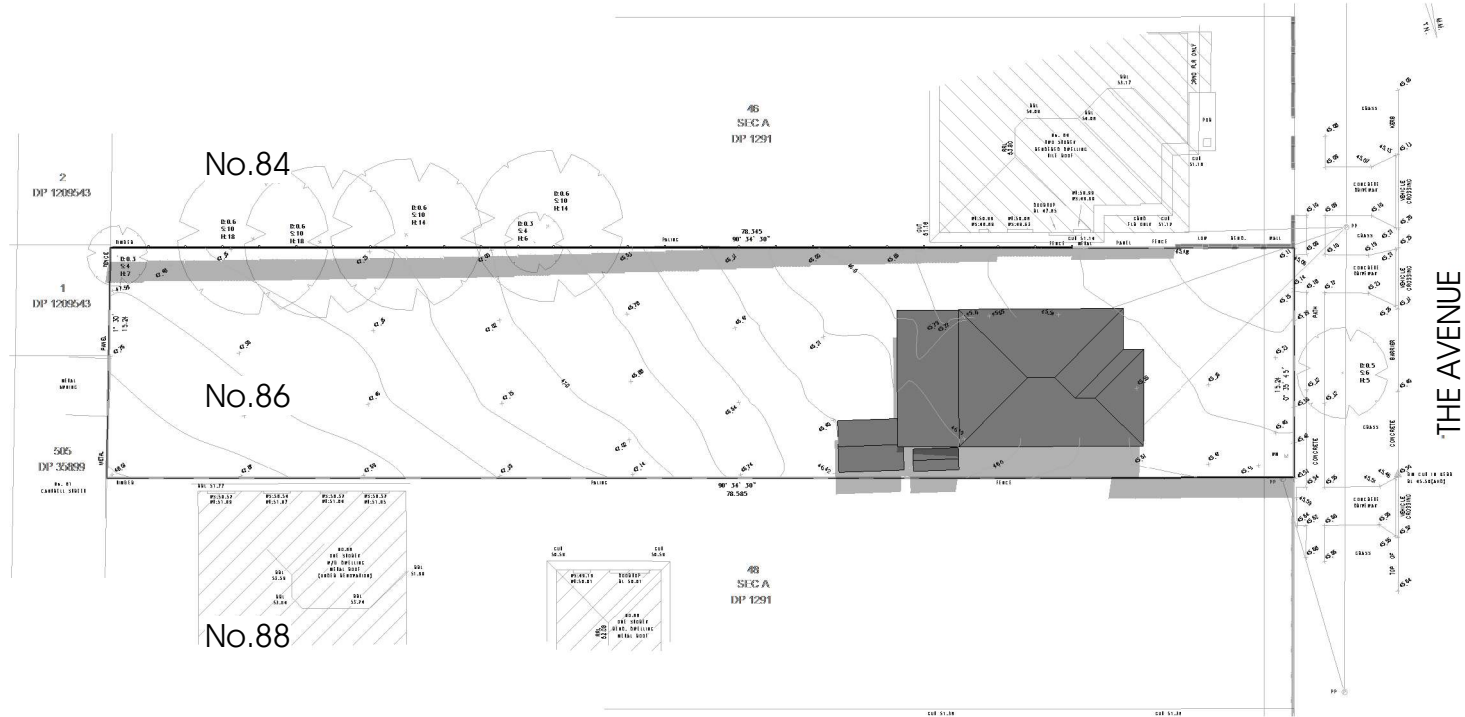
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PROPOSED ELEVATION SHADOWS 8AM EQUINOX

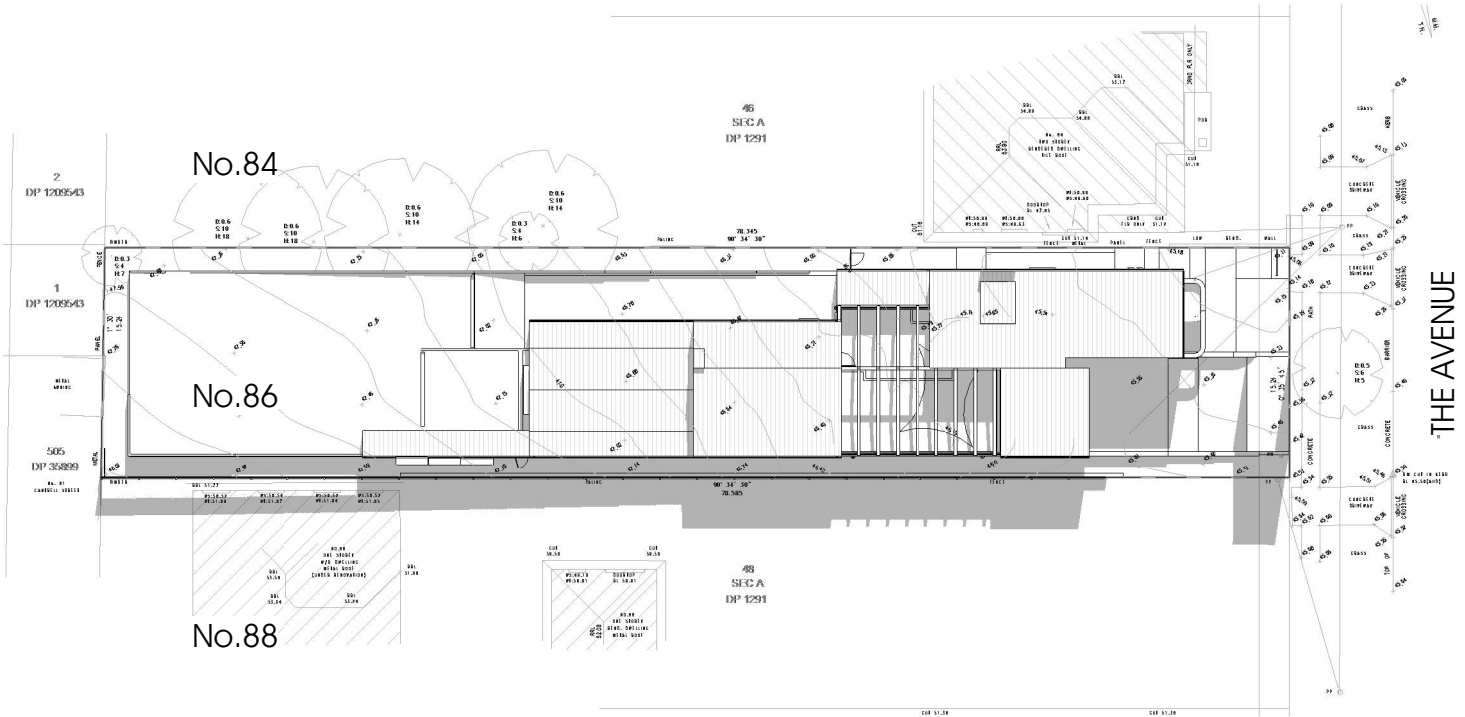
SCALE 1 : 300 (A3)

FOR DEVELOPMENT APPLICATION



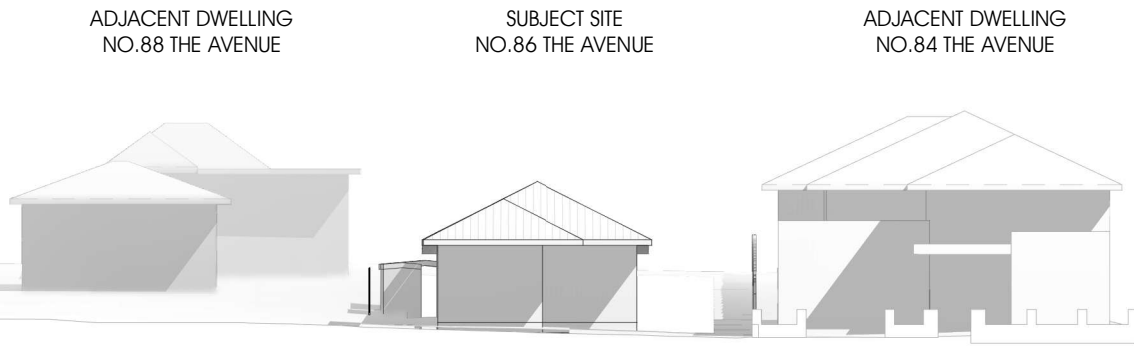
EXISTING SHADOWS 12PM EQUINOX

SCALE 1 : 500 (A3)



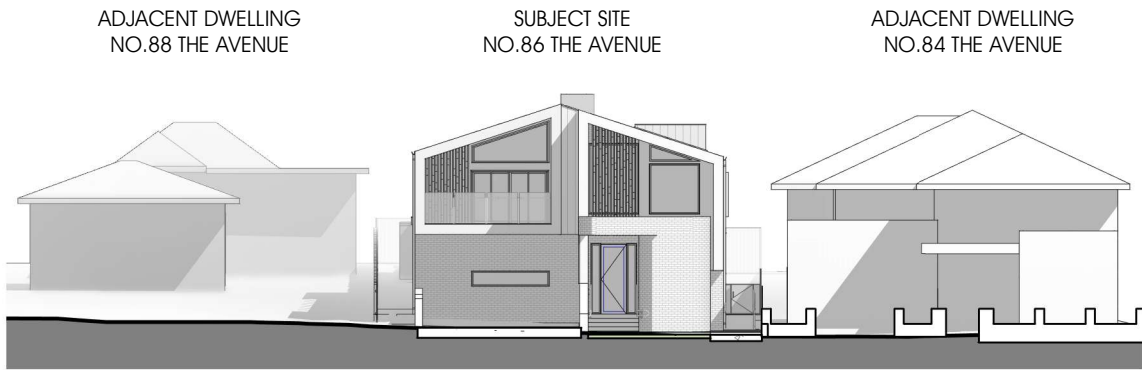
PROPOSED SHADOWS 12PM EQUINOX

SCALE 1 : 500 (A3)



EXISTING ELEVATION SHADOWS 12PM EQUINOX

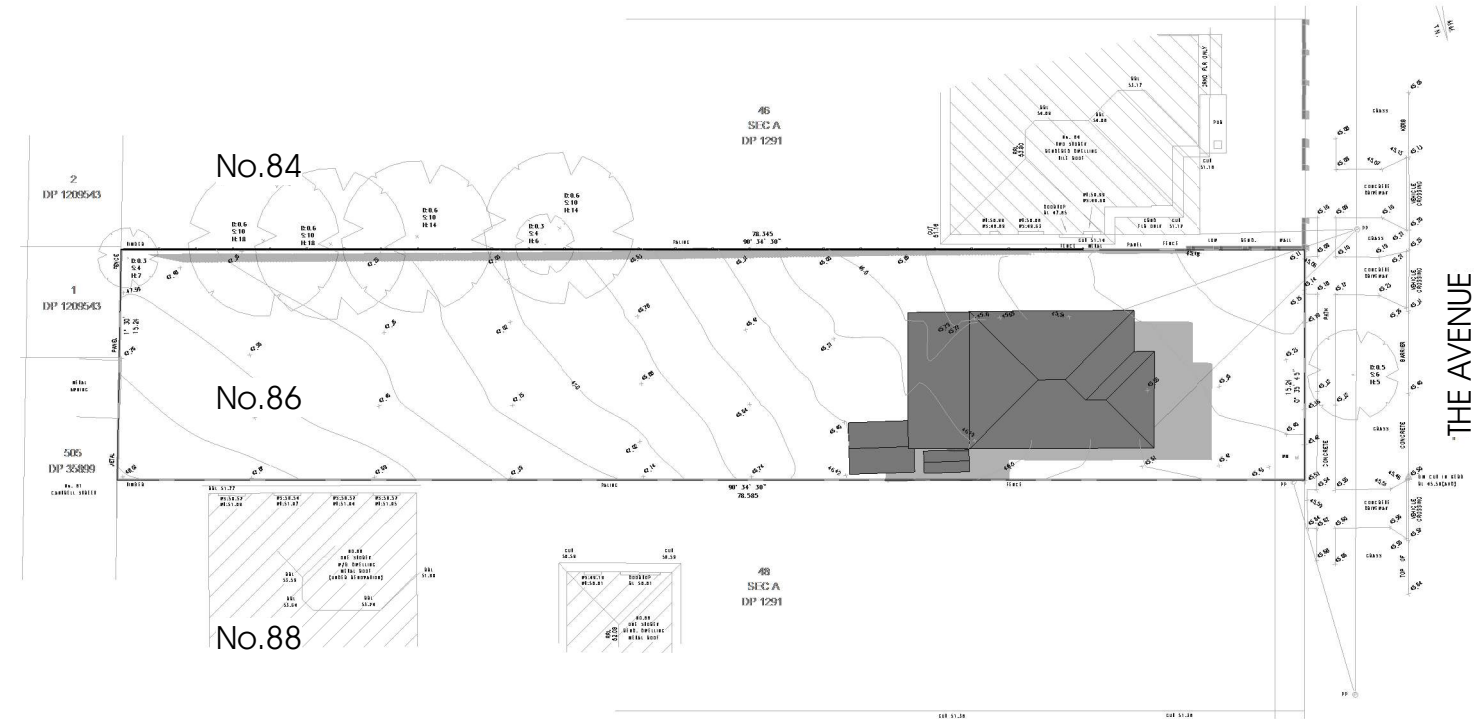
SCALE 1 : 300 (A3)



PROPOSED ELEVATION SHADOWS 12PM EQUINOX

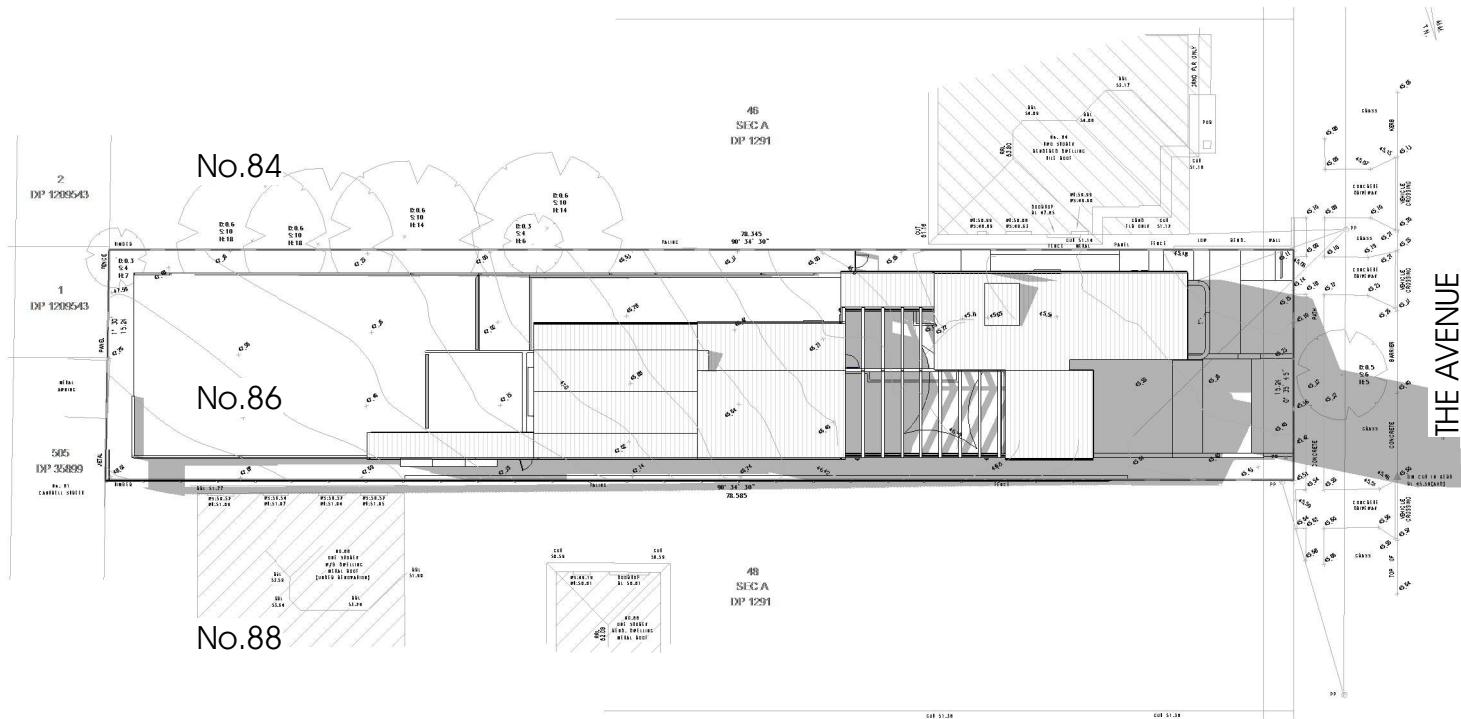
SCALE 1 : 300 (A3)

FOR DEVELOPMENT APPLICATION



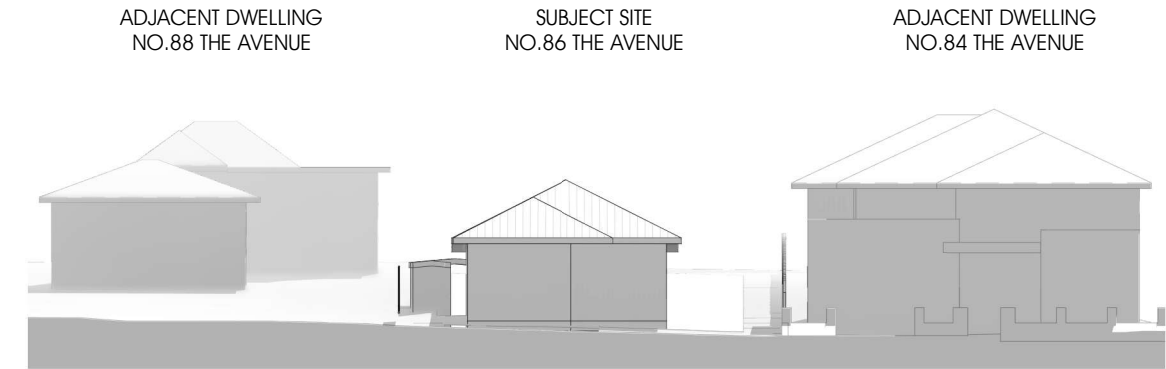
EXISTING SHADOWS 4PM EQUINOX

SCALE 1 : 500 (A3)



PROPOSED SHADOWS 4PM EQUINOX

SCALE 1 : 500 (A3)



EXISTING ELEVATION SHADOWS 4PM EQUINOX

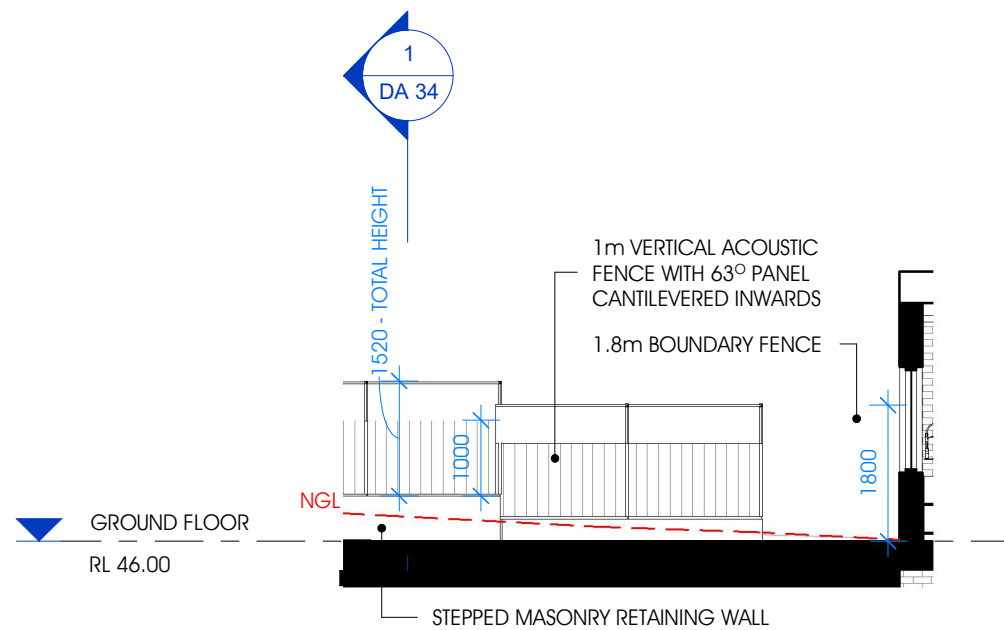
SCALE 1 : 300 (A3)



PROPOSED ELEVATION SHADOWS 4PM EQUINOX

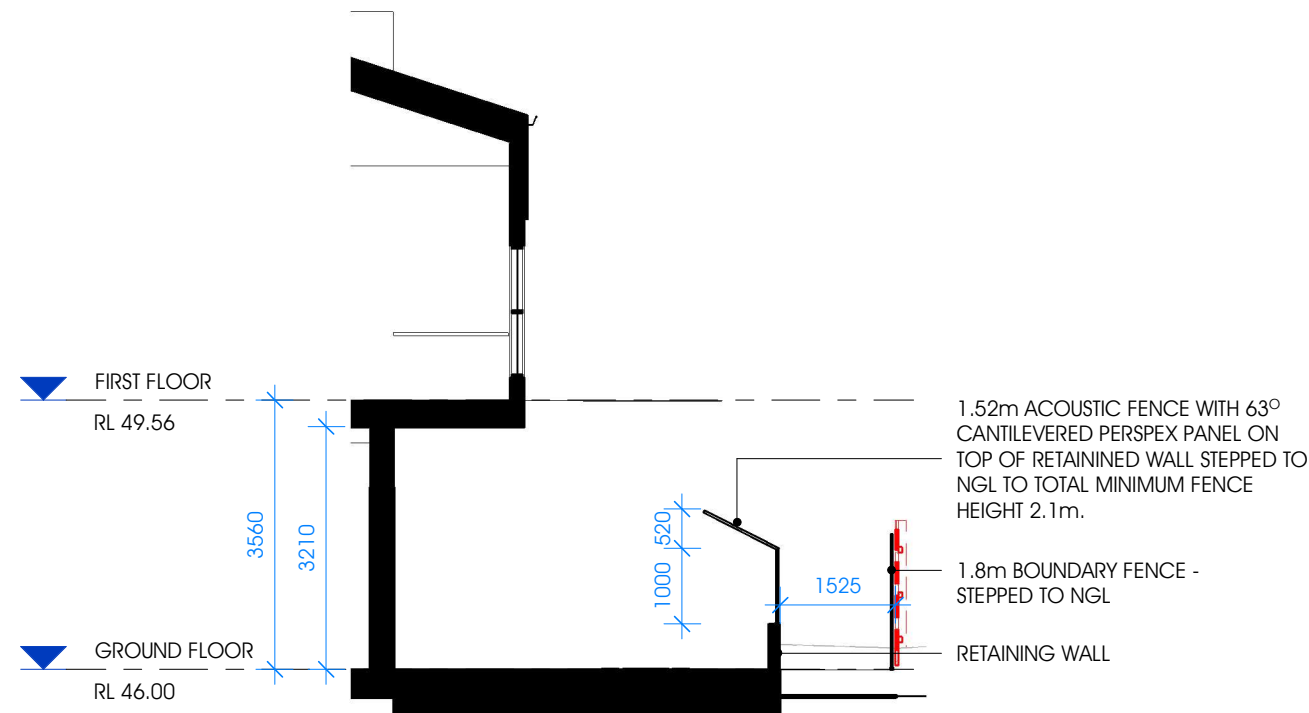
SCALE 1 : 300 (A3)

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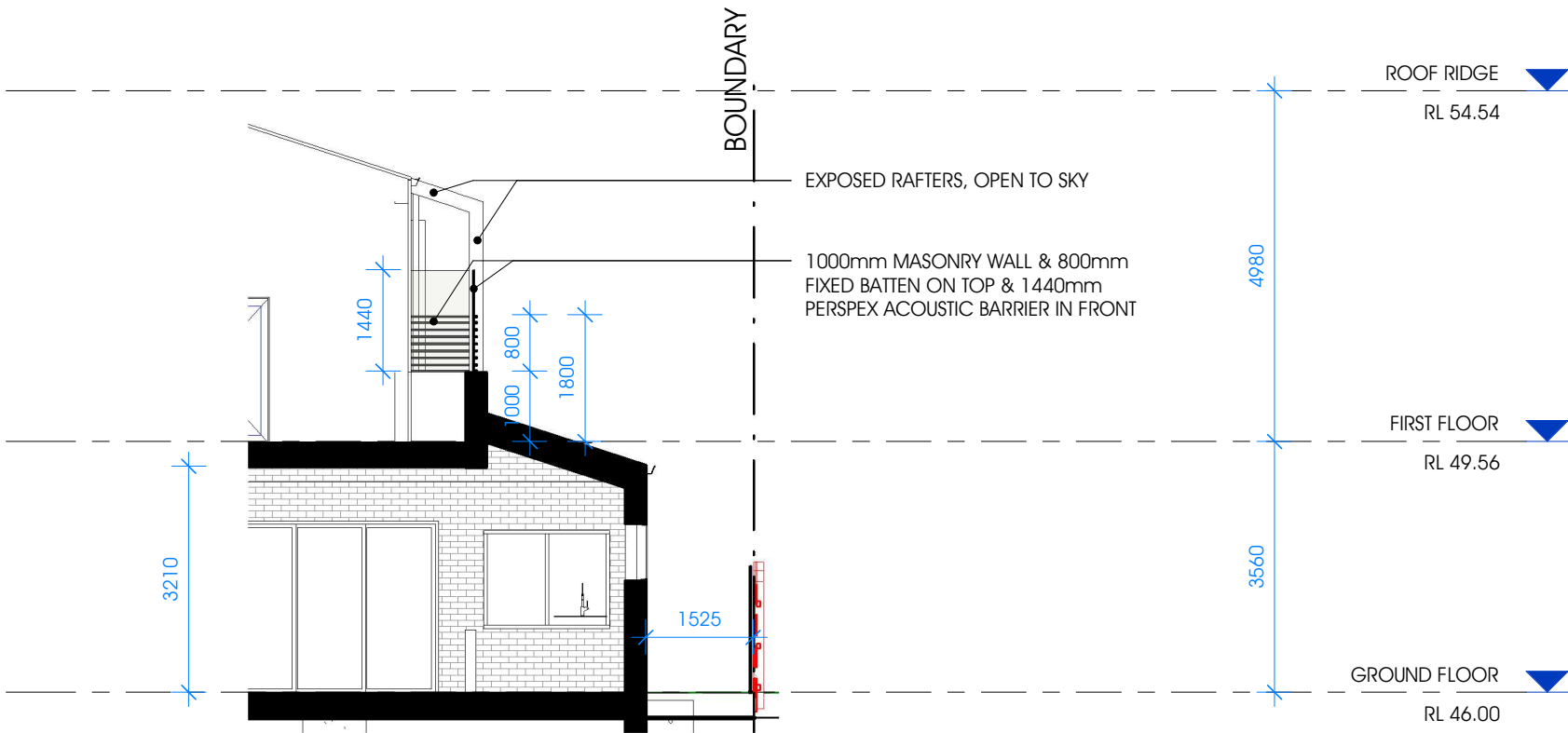
GROUND FLOOR - NORTHERN FENCE DETAIL

SCALE 1 : 100 (A3)



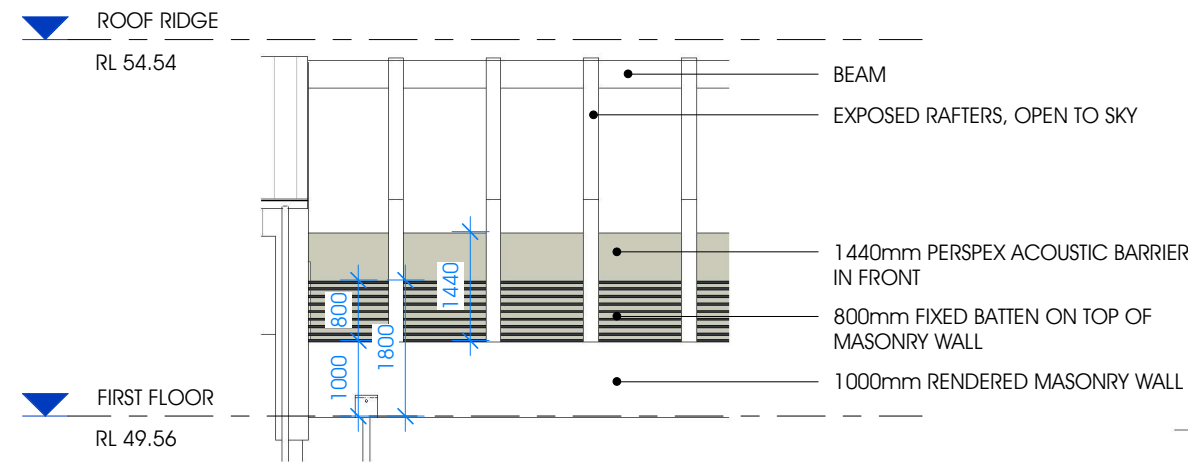
GROUND FLOOR - NORTHERN ACOUSTIC FENCE SECTION

SCALE 1 : 100 (A3)



FIRST FLOOR - BARRIER SECTION DETAIL

SCALE 1 : 100 (A3)

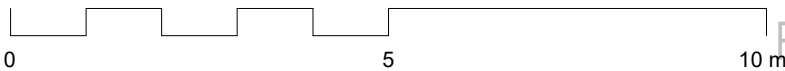


FIRST FLOOR BARRIER DETAIL

SCALE 1 : 100 (A3)

ACOUSTIC RECOMMENDATIONS

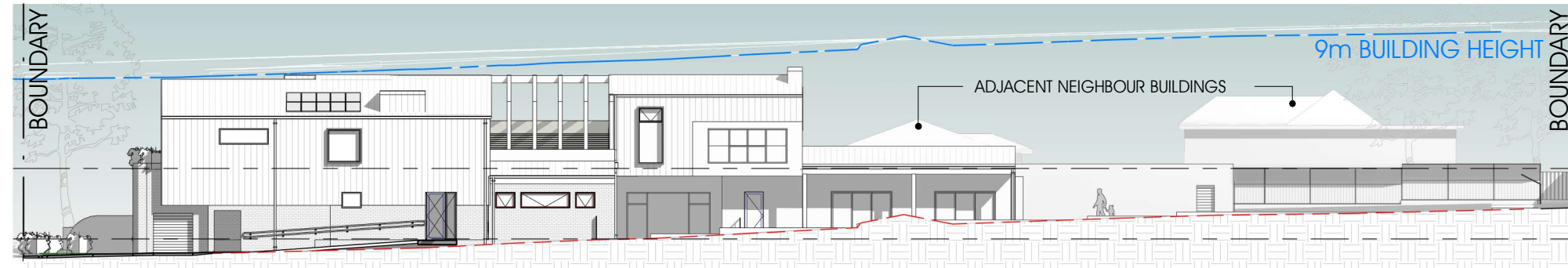
- 1.44m HIGH ACOUSTIC BARRIER
- 1.52m HIGH ACOUSTIC BARRIER - 1.0 VERTICAL BARRIER WITH 1.1m CANTILEVERED INWARDS AT 63° ANGLE
- 1.84m HIGH ACOUSTIC BARRIER - 1.0m VERTICAL BARRIER WITH 1.3m CANTILEVERED INWARDS AT 51° ANGLE



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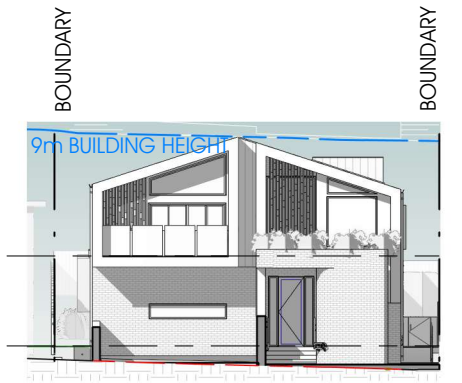
AMENDMENTS:

PROJECT NO.:



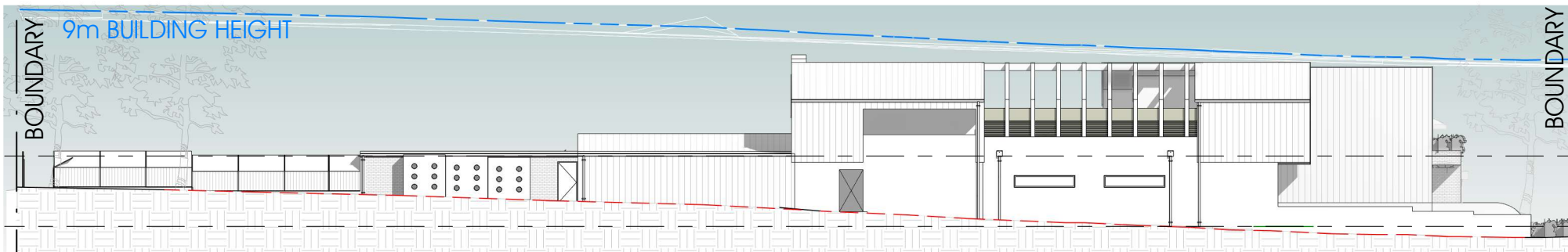
NORTH ELEVATION

SCALE 1 : 300 (A3)



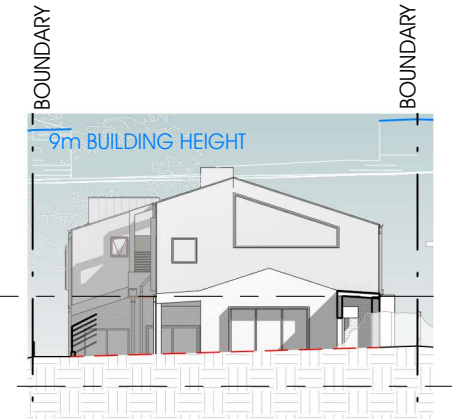
EAST ELEVATION

SCALE 1 : 300 (A3)



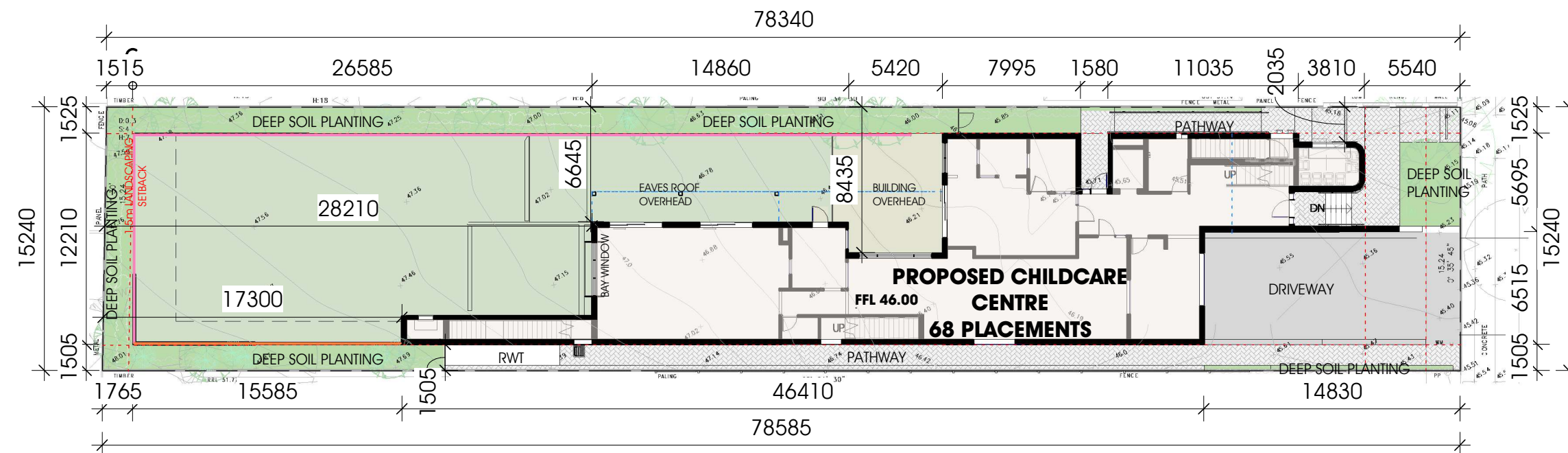
SOUTH ELEVATION

SCALE 1 : 300 (A3)



WEST ELEVATION

SCALE 1 : 300 (A3)



SITE PLAN

SCALE 1 : 300 (A3)

FOR DEVELOPMENT APPLICATION



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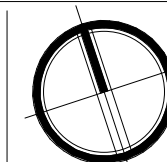
E ISSUED TO COUNCIL FOR DEVELOPMENT APPLICATION

AMENDMENTS:

03.07.24

PROJECT NO.:

#186



DA 35

ENTITY 8886

PROPOSED CHILDCARE CENTRE

0 1 2m
LOT 47, SEC. A, DP110163, 86 THE AVENUE, BANKSTOWN NSW 2200